

WOODLAND PARK - EUCLID IMPROVEMENTS

VICINITY MAP



PROJECT DIRECTORY

APPLICANT:

Woodland Park Communities
5 Newell Court
East Palo Alto, CA 94303
ATTN: Michael Kramer
mkramer@wlpcommunities.com

ARCHITECT:

David Baker Architects
461 2nd Street, Loft C-127
San Francisco, CA 94107
ATTN: Daniel Simons
danielsimons@dbarchitect.com

LANDSCAPE ARCHITECT:

Hood Design Studio
3016 Filbert Street #2
Oakland, CA 94608
ATTN: Alma du Solier
alma@hooddesignstudio.com

CIVIL ENGINEER:

BKF Engineers
1730 N. First Street, Suite 600
San Francisco, CA 94112
ATTN: Jacobon Nguyen
jnguyen@bkf.com

PROJECT DESCRIPTION

With no displacement, this project proposes the replacement of several aging, outdated structures containing 160 rent-stabilized housing units and one single family rental (non-RSO) with new mixed-income buildings containing 550 apartments, 29% of which will be deed-restricted rent-controlled, replacing the existing apartments one-for-one.

Note: No portion of the property is located in a Flood Zone as designated by the Federal Emergency Management Agency (FEMA).

PROJECT SITE

ZONING:

R-HD-5, R-UHD, Neighborhood Center Overlay (NCO)

GENERAL PLAN DESIGNATION:

HIGH DENSITY RESIDENTIAL / URBAN
RESIDENTIAL, NEIGHBORHOOD CENTER OVERLAY

TOTAL SITE AREA:

170,941 SF = 3.92 ACRES

EXISTING LOTS:

ADDRESSES:	APNS:
501 O'Connor St.	063282010
2012 Euclid Ave.	063282020
2032 Euclid Ave.	063282030
2036 Euclid Ave.	063282040
2040 & 2042 Euclid Ave.	063282050
2044 Euclid Ave.	063282060
2054 Euclid Ave.	063282070
2033 Manhattan Ave.	063282080
2001 Manhattan Ave.	063282090
2021 Euclid Ave.	063281020
2025 Euclid Ave.	063281030
2031 Euclid Ave.	063281040
2043 Euclid Ave.	063281100
2041 Euclid Ave./420 E O'Keefe St.	063281110

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C-3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
C-5.1	PRELIMINARY STORMWATER MANAGEMENT PLAN
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TM-1	VESTING TENTATIVE PARCEL MAP - TITLE SHEET
TM-2	VESTING TENTATIVE PARCEL MAP - MAPPING SHEET

OTHER

WT-001	WATER TANK EXHIBIT
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PROJECT DATA

GROSS AREAS

CIRCULATION	52448 SF
COMMON	31837 SF
COMMUNITY SPACE	2500 SF
GARAGE / BIKE ROOM	139931 SF
RESIDENTIAL	418642 SF
RETAIL	2619 SF
SERVICE / TRASH	9455 SF
STAIRS / ELEVATORS	12831 SF
	670262 SF

UNIT MIX

TYPE	EXISTING*	MIX	APPROVED	MIX	REVISED	MIX	AVG. AREA
STUDIO	53	33%	228	38%	21**	4%	495 sf
1 BR	102	64%	197	33%	343	62%	688 sf
2 BR	4	2%	178	29%	184	33%	977 sf
3 - 4 BR	2	<1%	2	<1%	2	<1%	1,298 sf
TOTAL	161		605		550		

* There are 160 current rent-stabilized units and one 2 BR single-family rental (non-RSO)

** 32 existing studios will be replaced by 1 BR units

PARKING

STALLS	EXISTING	APPROVED	REVISED	
			BUILDING A	BUILDING B
OFF-STREET	155	625	136	434
ON-STREET	52	52		72

(14 of the proposed parking stalls are ADA, including 4 ADA van spaces)

Approved Parking Ratio = 1.03 spaces/unit
Revised Parking Ratio = 1.03 spaces/unit
Building A Parking Ratio = 1.03 spaces/unit
Building B Parking Ratio = 1.03 spaces/unit

LOT COVERAGE CALCULATIONS

BUILDING A LOT COVERAGE
LOT AREA = 31,596 SF
18,853 SF / 31,596 SF = **59%**

BUILDING B LOT COVERAGE
TOTAL LOT AREA = 139,345 SF
89,544 SF / 139,345 SF = **64%**

TOTAL LOT COVERAGE
108,397 / 170,941 SF = 63%

F.A.R. REQUIRED: N/A

(PER DEVELOPMENT CODE SECTION 18.10 TABLE 2-2)

ZONING COMPARISON

Development Standard	NCO Zone / GP Designation Requirement	Approved Project (Nov 2022)	Revised Project (Apr 2024)
Maximum Density	175 du/acre	155 du/acre	140.3 du/acre
Height	13 stories / 140 feet	13 stories / 135 feet	8 stories / 85 feet
Open Space	100 sf/unit	100 sf/unit	103 sf/unit or greater
Setbacks*			
Front	5 feet	9-12 feet	5-10 feet
Side/Street Side	5 feet	10-85 feet	5-143 feet
Rear	10 feet	10-20 feet	10-83 feet
Corner vision triangle	12 feet	12 feet	12 feet

*Front Setback areas:
Building B - W. Bayshore Rd.
Building A - E. O'Keefe St.

BIKE PARKING

REQ PER EPAMC:
1 CLASS I SPACE FOR EVERY 3 UNITS = 183 CLASS I
1 CLASS II SPACE FOR EVERY 15 UNITS = 36 CLASS II

PROVIDED

CLASS I:
BUILDING A: 72 STALLS (ONE BIKE ROOM)
BUILDING B: 252 STALLS (TWO BIKE ROOMS)
TOTAL: 324 STALLS PROVIDED

CLASS II: 45 STALLS PROVIDED ON SITE

OPEN SPACE

	AREA
COMMON OPEN SPACE	31,932 SF
PRIVATE OPEN SPACE	24,854 SF
Total	56,786 SF
Open space per unit (excluding Public Open Space)	103 SF/UNIT
PUBLIC OPEN SPACE	10,769 SF
PUBLIC PARK	9,355 SF

License Stamp

Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

Design Update -
April 2024

Drawing Title

TITLE SHEET

Sheet No.

G-000

Date 04/18/2024
Project No. 21620

Woodland Park
Euclid
Improvements



David Baker Architects

dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

Woodland Park Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

**PREVIOUSLY
SUBMITTED SHEET
NO CHANGE**

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Issuances

Description	Date
Entitlements Submission	09/25/2019

Revisions

Rev.	Description	Date
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Application -
September 2019

Drawing Title

CONTEXT

Sheet No.

G100

Date 08-23-2022
Project No. 21620



1 - Intersection of West Bayshore Road and Euclid Avenue, Looking East



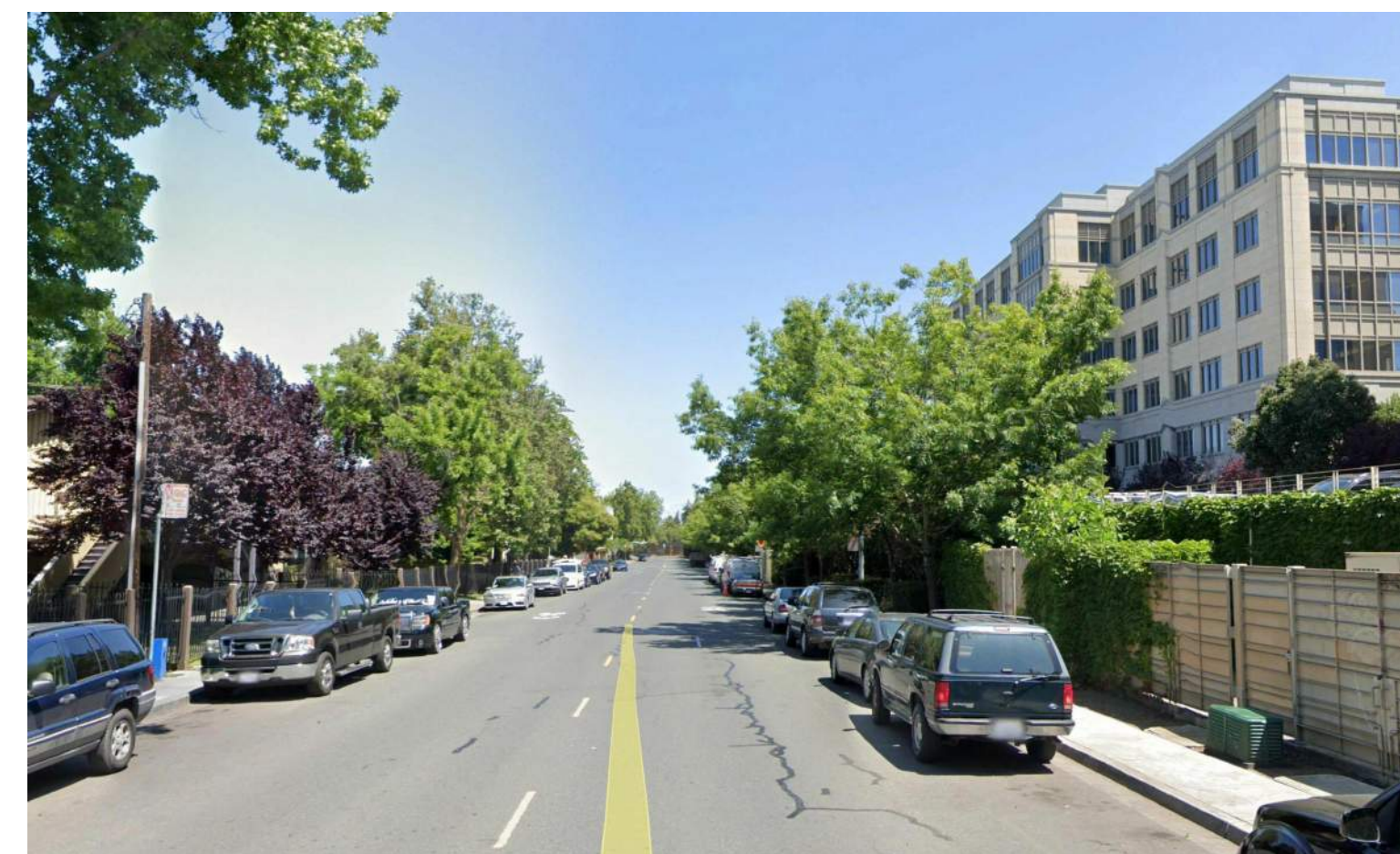
2 - West Bayshore Road, Looking East



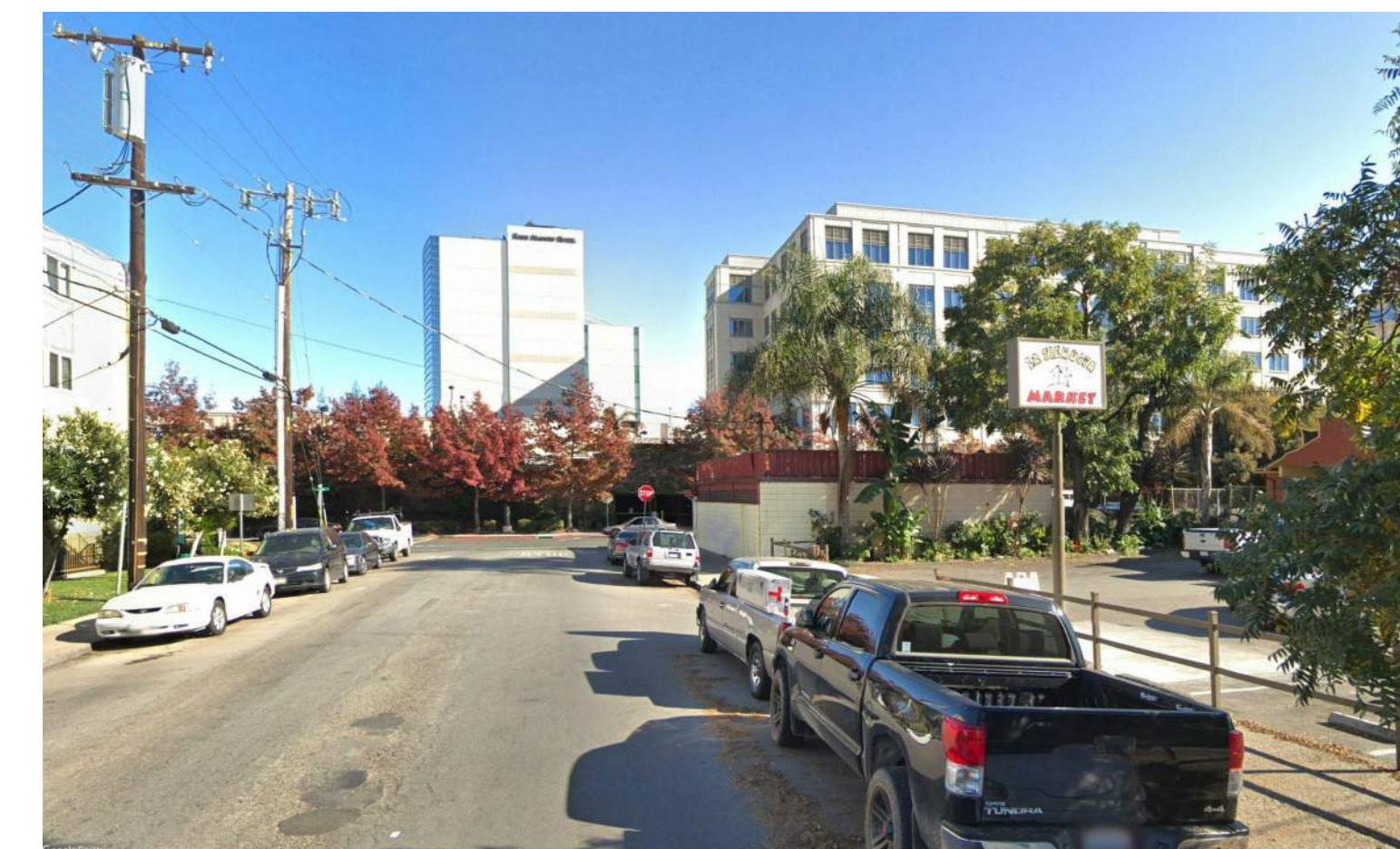
3 - Intersection of West Bayshore Road and Manhattan Avenue, Looking South



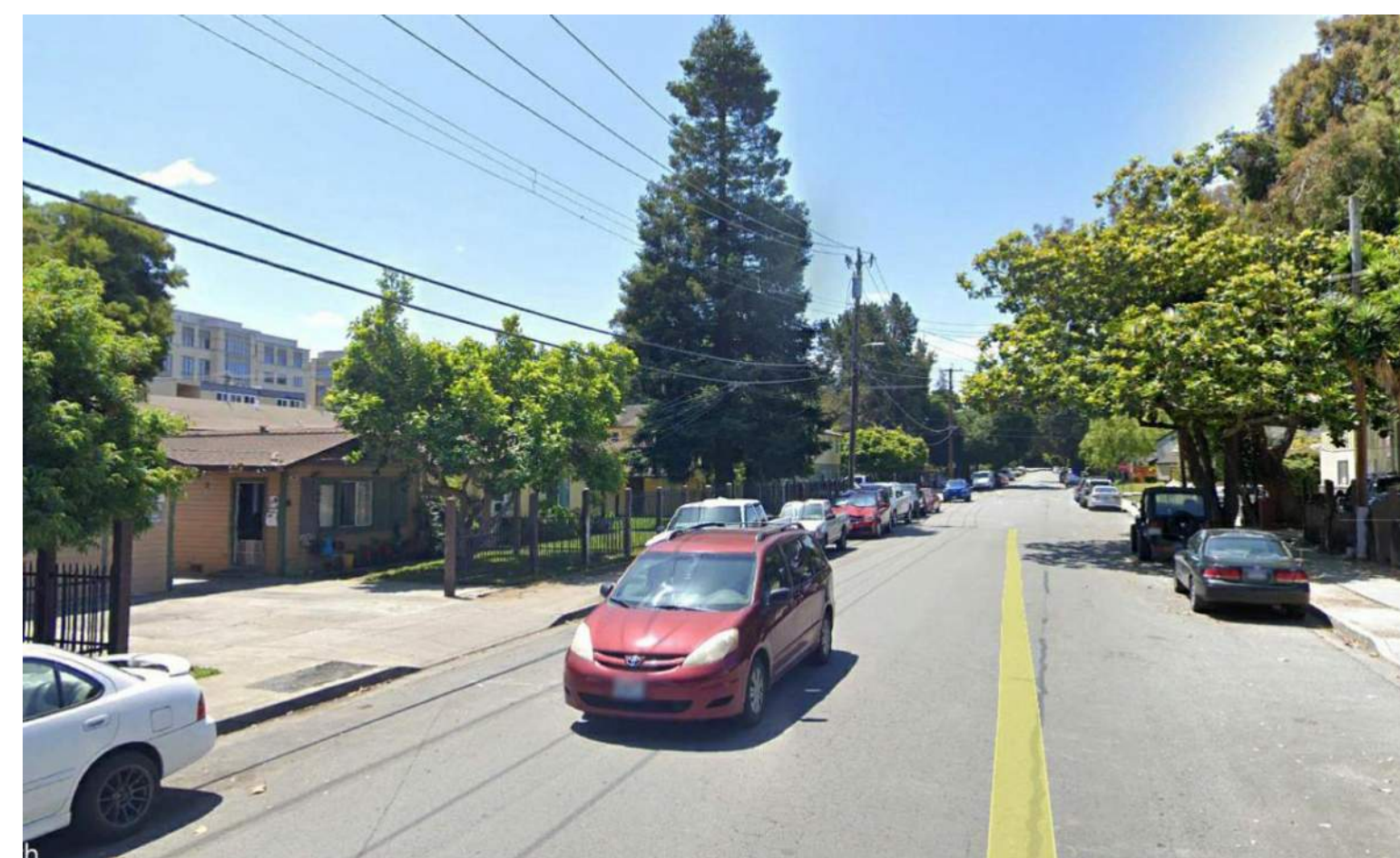
4 - Intersection of Manhattan Avenue and O'Connor Street, Looking North



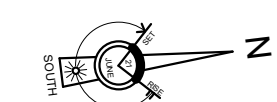
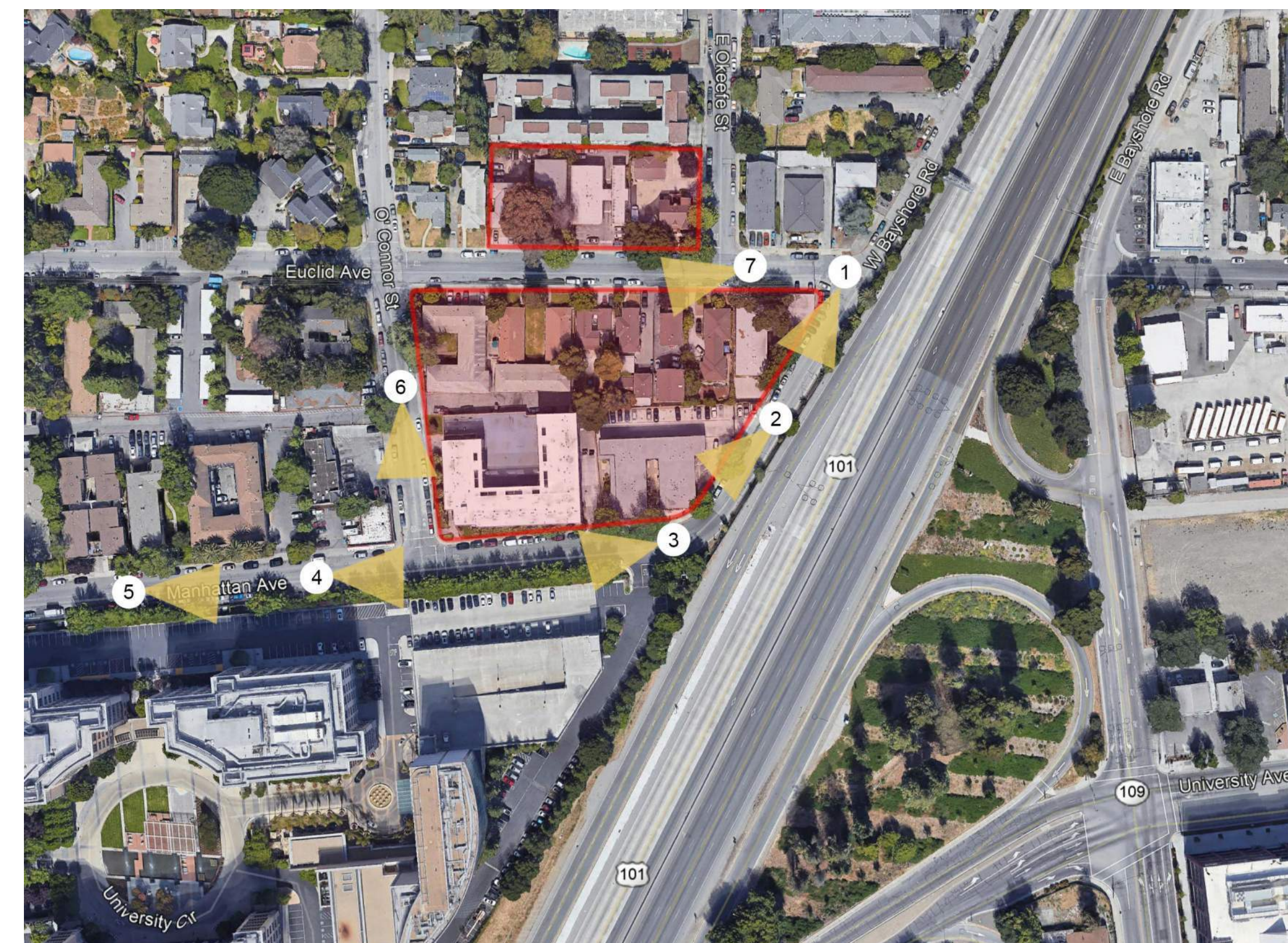
5 - Manhattan Avenue, Looking North



6 - O'Connor Street, Looking East



7 - Euclid Avenue, Looking South



Woodland Park Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

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Entitlements Update	2/27/2024

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1	Response to Comments	4/19/2024

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April 2024**

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**PERSPECTIVE
VIEWS**

Sheet No.

G-101

Date 04/18/2024
Project No. 21620



1- VIEW OF PARK FROM O'CONNOR ST.

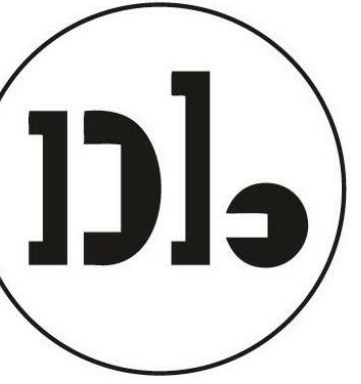


2- VIEW OF EUCLID LOOKING TOWARDS O'KEEFE ST.



KEY PLAN

Woodland Park Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

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April 2024**

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**PERSPECTIVE
VIEWS**

Sheet No.

G-102

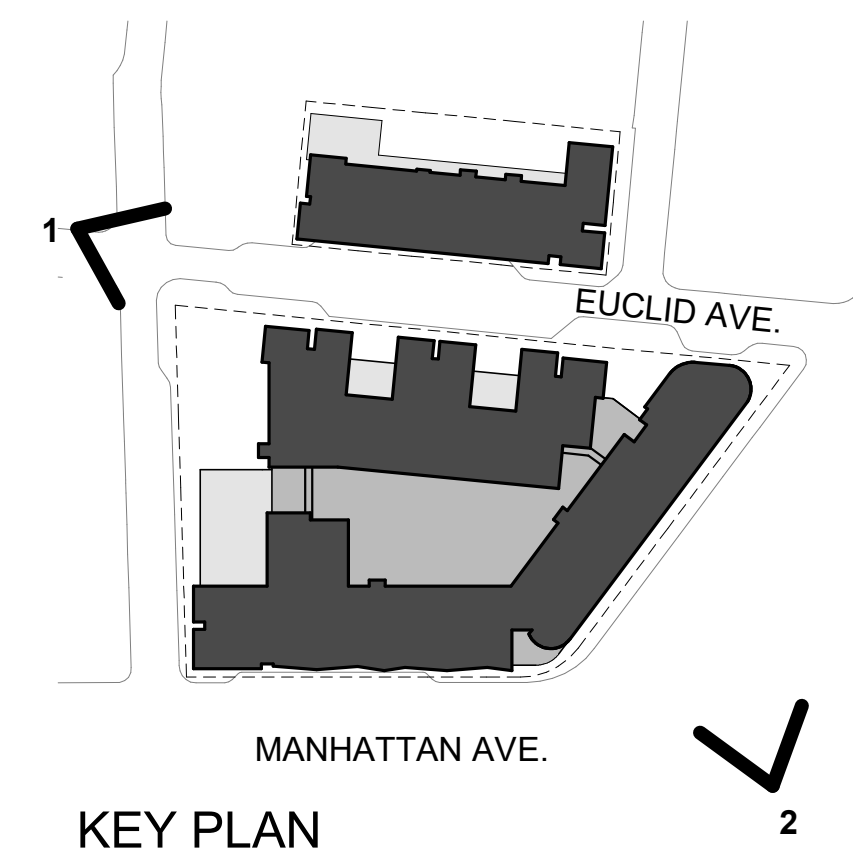
Date 04/18/2024
Project No. 21620



1- VIEW DOWN EUCLID AVE. LOOKING NORTH



2- VIEW FROM US 101/ UNIVERSITY AVE OVERPASS (FOUR SEASONS HOTEL IN FOREGROUND)



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David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

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Entitlements Update	2/27/2024

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1	Response to Comments	4/19/2024

PROJECT

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April 2024

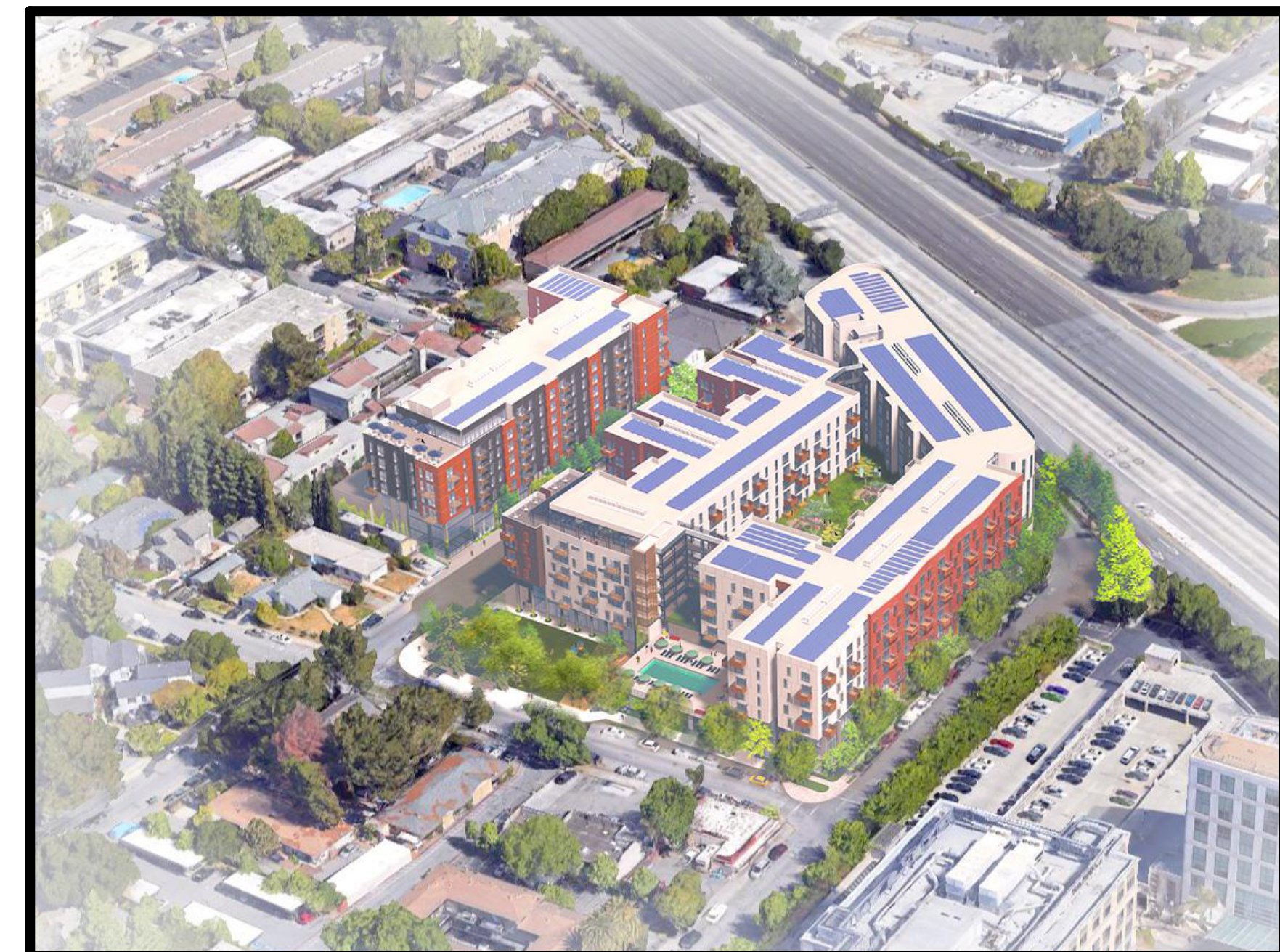
Drawing Title

AERIAL VIEW

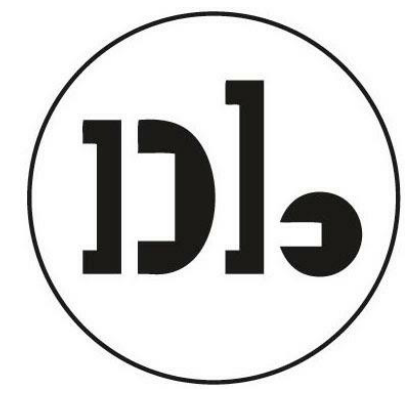
Sheet No.

G-103

Date 04/18/2024
Project No. 21620



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David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

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Entitlements Update	2/27/2024

Revisions

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1	Response to Comments	4/19/2024

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April 2024

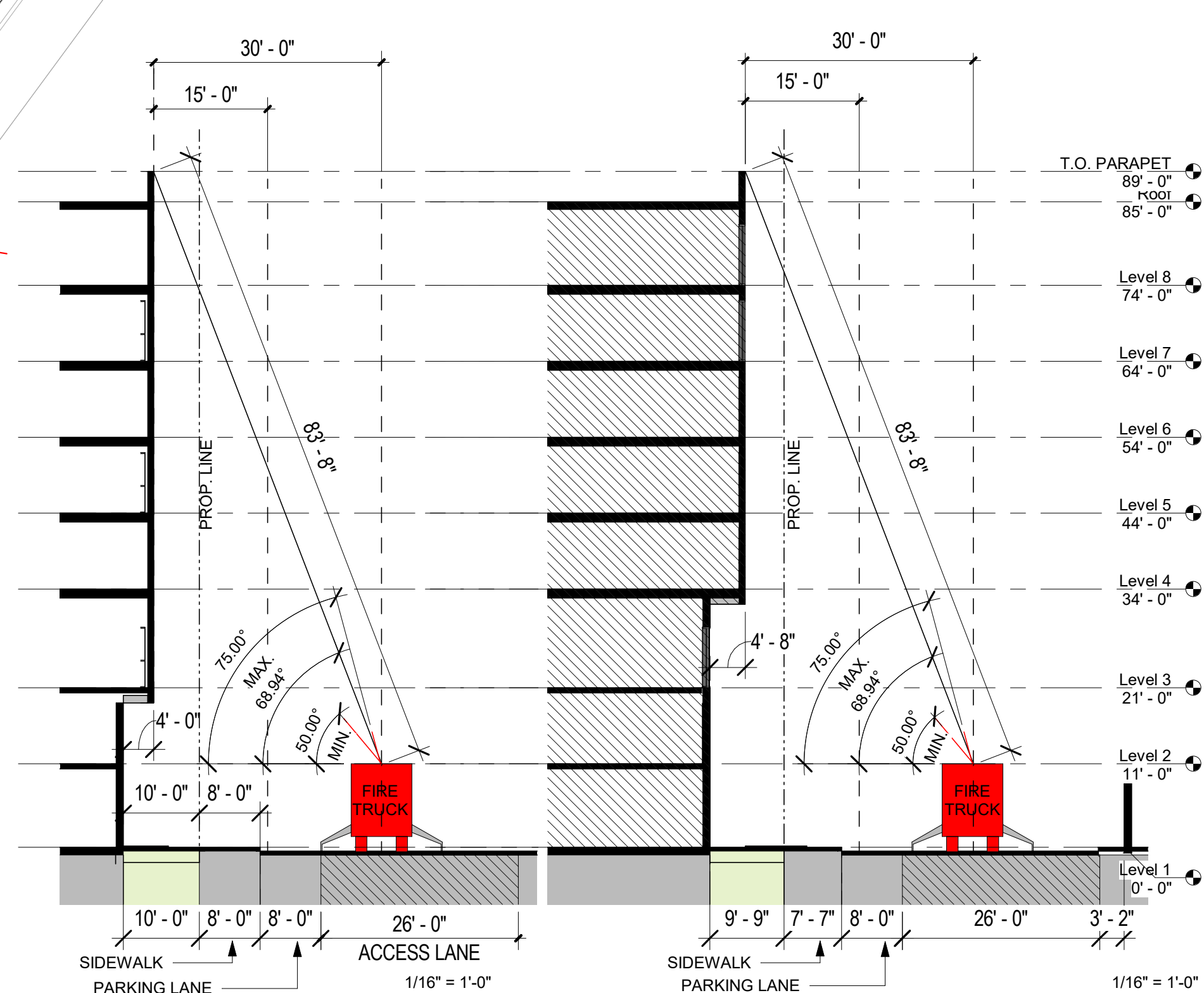
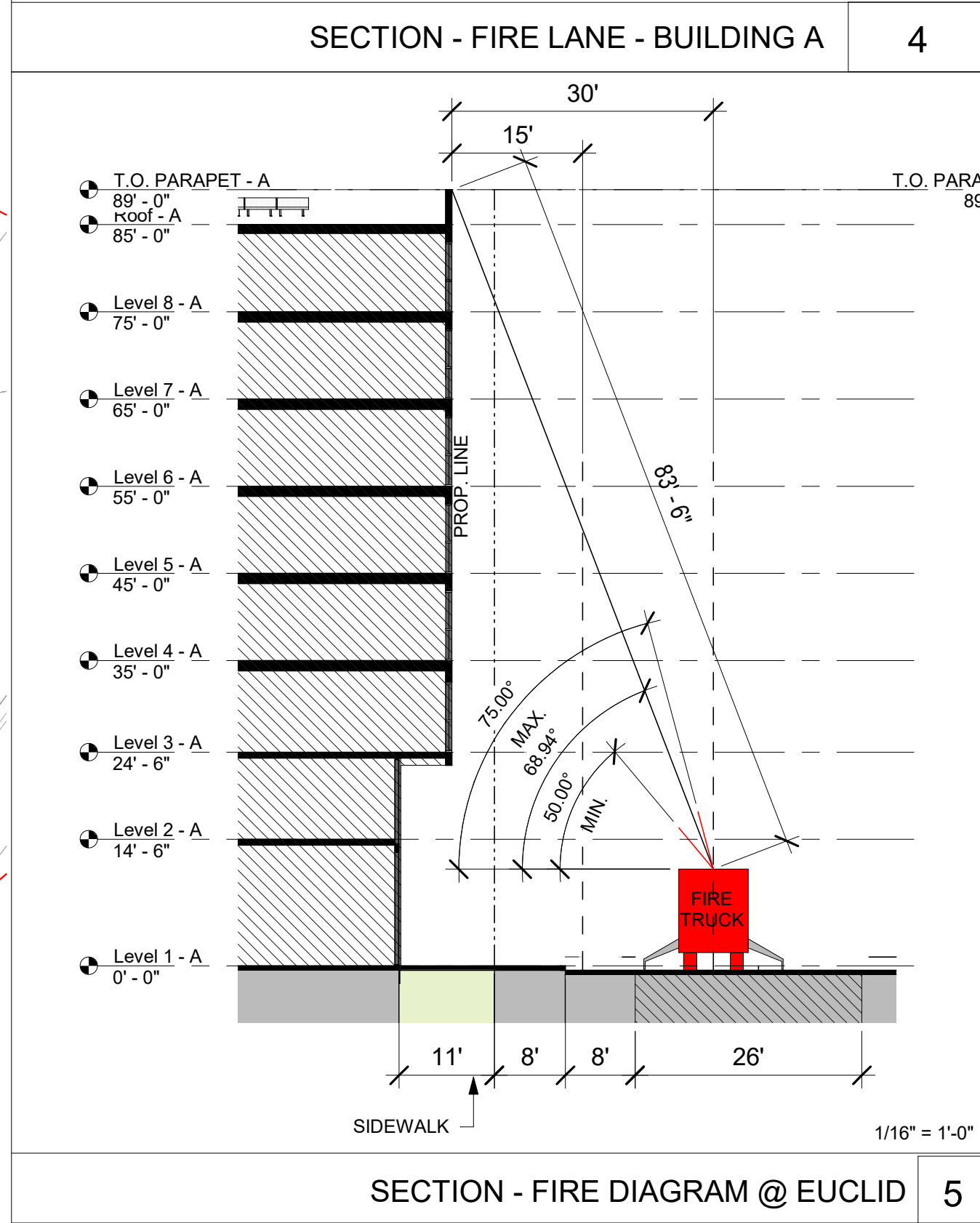
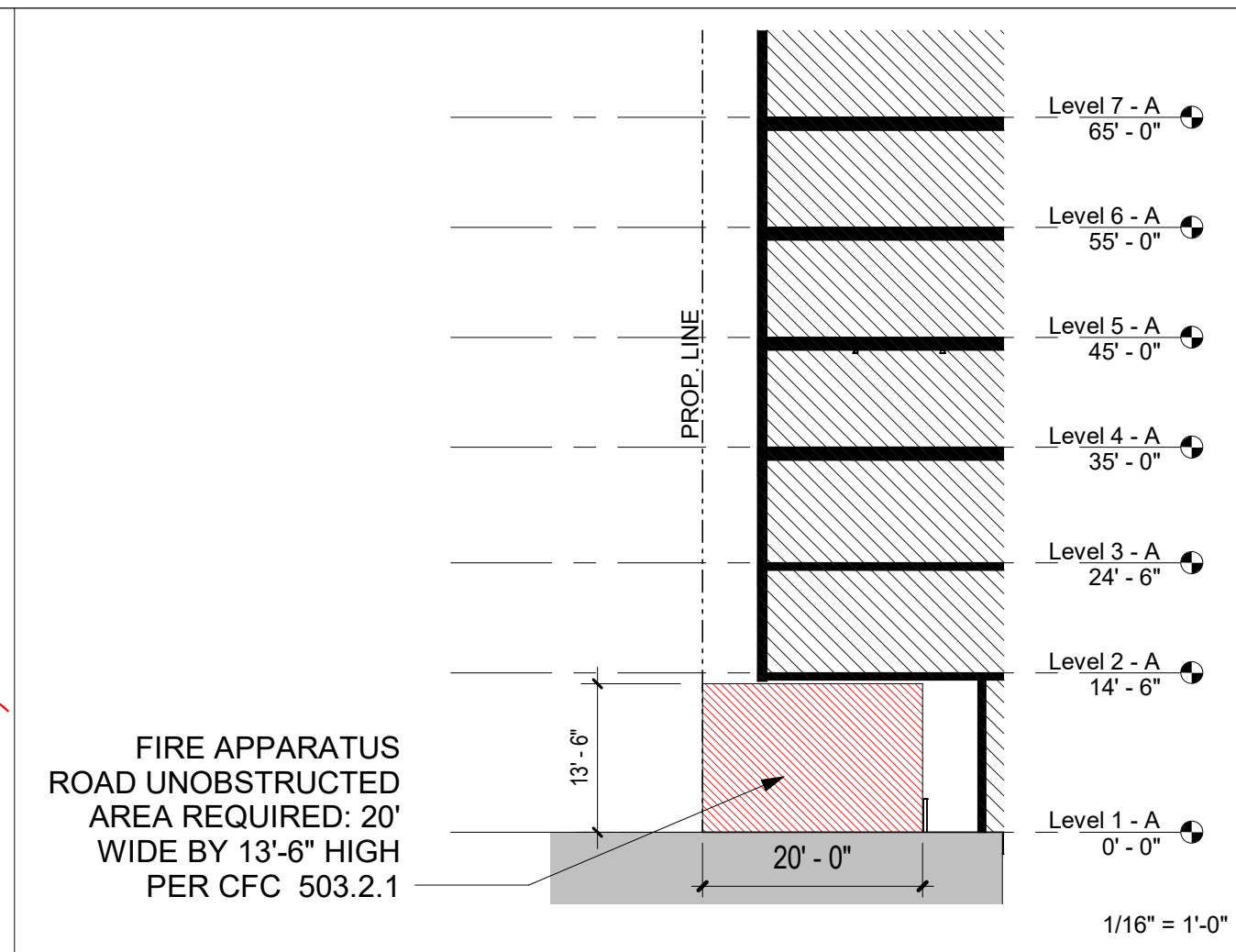
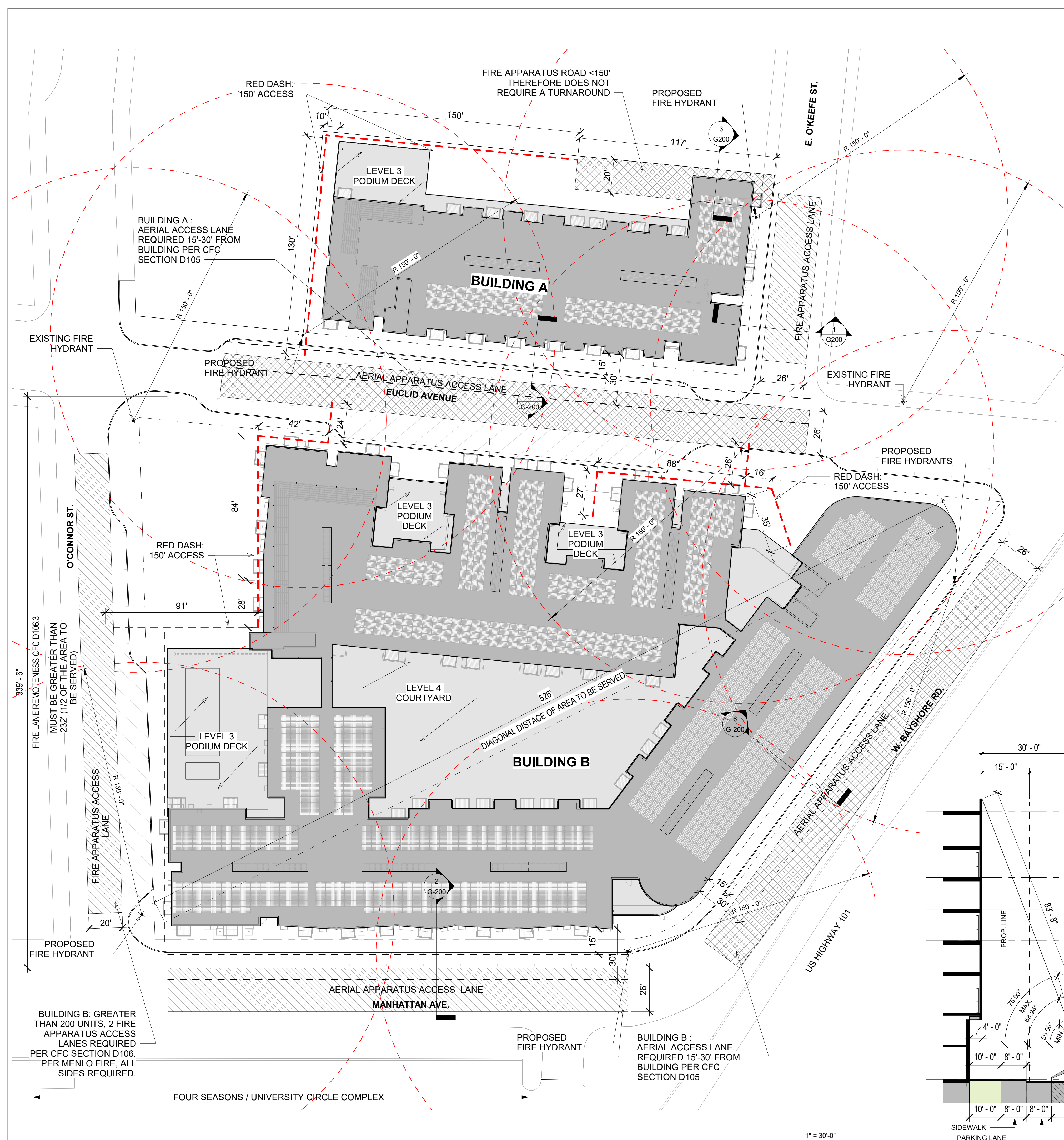
Drawing Title

FIRE DIAGRAMS

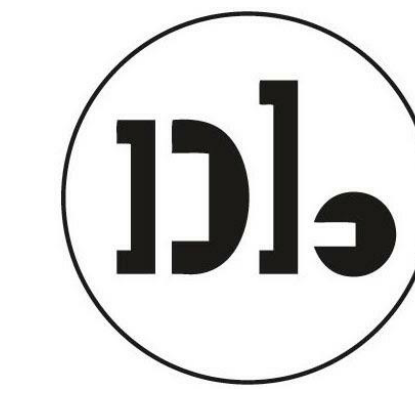
Sheet No.

G-200

Date 04/18/2024
Project No. 21620



FIRE DIAGRAM	3	SECTION - FIRE DIAGRAM @ MANHATTAN	2	SECTION - FIRE DIAGRAM @ W. BAYSHORE RD.	6
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David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

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Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

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**Design Update -
April 2024**

Drawing Title

**CODE ANALYSIS
- GENERAL**

Sheet No.

G-201

Date: 04/18/2024
Project No.: 21620

BUILDING A

AREAS:

BUILDING AREA A (TYPE I-A):
ALLOWABLE BUILDING AREA IS UNLIMITED

TOTAL AREA: Area A 45215 SF

ALLOWABLE BUILDING AREA IS UNLIMITED FOR TYPE I-A CONSTRUCTION, THEREFORE **COMPLIES**

BUILDING AREA B (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.5) = 36,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$ SF

TOTAL AREA: Area B 52478 SF

BUILDING AREA B: < 72,000 SF THEREFORE **COMPLIES**

BUILDING AREA C (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.5) = 36,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$ SF

TOTAL AREA: Area C 42730 SF

BUILDING AREA C: < 72,000 SF THEREFORE **COMPLIES**

BUILDING B

AREAS:

BUILDING AREA D (TYPE I-A):
ALLOWABLE BUILDING AREA IS UNLIMITED

TOTAL AREA: Area D 261481 SF

ALLOWABLE BUILDING AREA IS UNLIMITED FOR TYPE I-A CONSTRUCTION, THEREFORE **COMPLIES**

BUILDING AREA E (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.5) = 36,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$ SF

TOTAL AREA: Area E 64150 SF

BUILDING AREA E: < 72,000 SF THEREFORE **COMPLIES**

BUILDING AREA F (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.5) = 36,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$ SF

TOTAL AREA: Area F 69228 SF

BUILDING AREA F: < 72,000 SF THEREFORE **COMPLIES**

BUILDING AREA G (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.25) = 30,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.25)] \times 2 = 60,000$ SF

TOTAL AREA: Area G 59709 SF

BUILDING AREA G: < 60,000 SF THEREFORE **COMPLIES**

BUILDING AREA H (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.75) = 42,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.75)] \times 2 = 84,000$ SF

TOTAL AREA: Area H 39829 SF

BUILDING AREA H: < 84,000 SF THEREFORE **COMPLIES**

BUILDING AREA I (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.5) = 36,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$ SF

TOTAL AREA: Area I 46380 SF

BUILDING AREA I: < 72,000 SF THEREFORE **COMPLIES**

BUILDING AREA J (TYPE III-A):

ALLOWABLE AREA OF PER STORY $At + (ns \times if) = Aa$
 $24,000 + (24,000 \times 0.5) = 36,000$ SF
 TOTAL ALLOWABLE AREA $[At + (NS \times If)] \times Sa = Aa$
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$ SF

TOTAL AREA: Area J 59523 SF

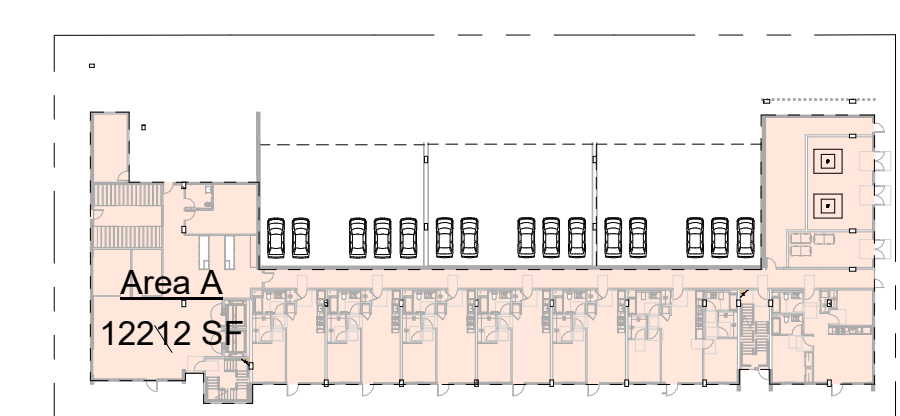
BUILDING AREA J: < 72,000 SF THEREFORE **COMPLIES**

AREA CALCULATIONS:

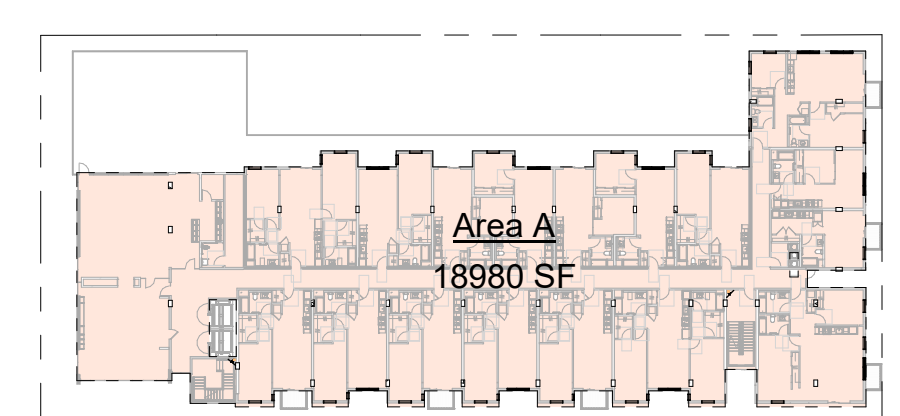
ALLOWABLE AREA OF EACH STORY OF A SINGLE-OCCUPANCY, MULTISTORY BUILDING FROM EQUATION 5-2 (CBC 506.2.1):
 $Aa = At + (ns \times if)$

TOTAL ALLOWABLE AREA OF A SINGLE-OCCUPANCY BUILDING MORE THAN THREE STORIES ABOVE GRADE PLANE:
 EQUATION 5-2 (CBC 506.2.1):
 $Aa = [At + (NS \times If)] \times Sa$

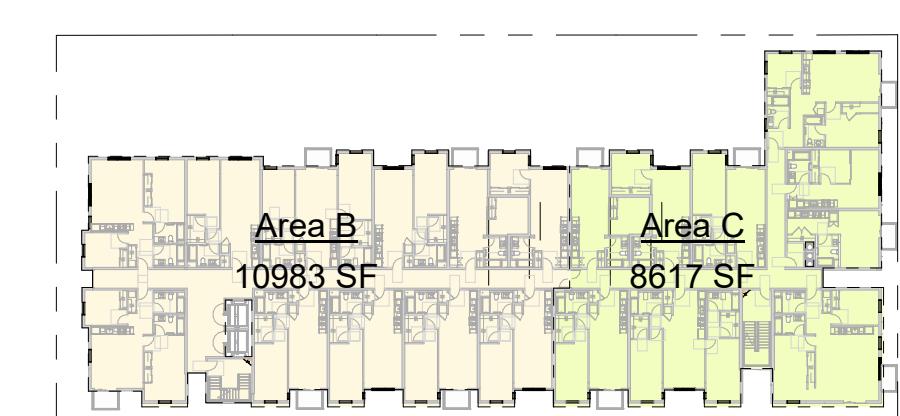
SEE PLAN DIAGRAMS ON THIS SHEET FOR COMPLIANCE OF ALLOWABLE AREA PER STORY



Level 1 Building A
1" = 60'-0"

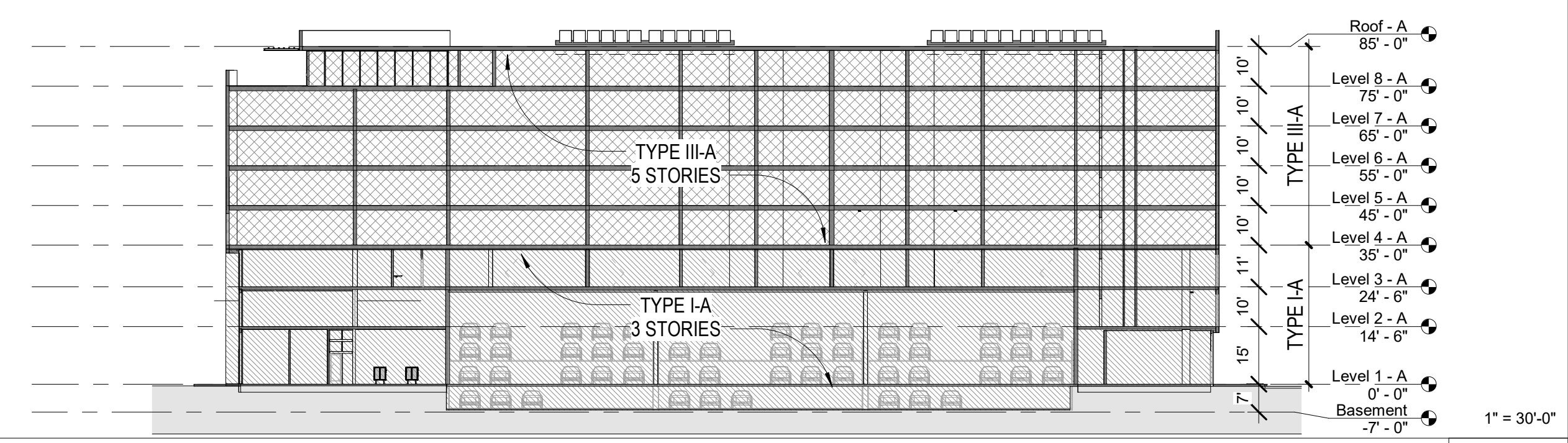


Levels 3 Building A
1" = 60'-0"



Level 4-8 Building A
1" = 60'-0"

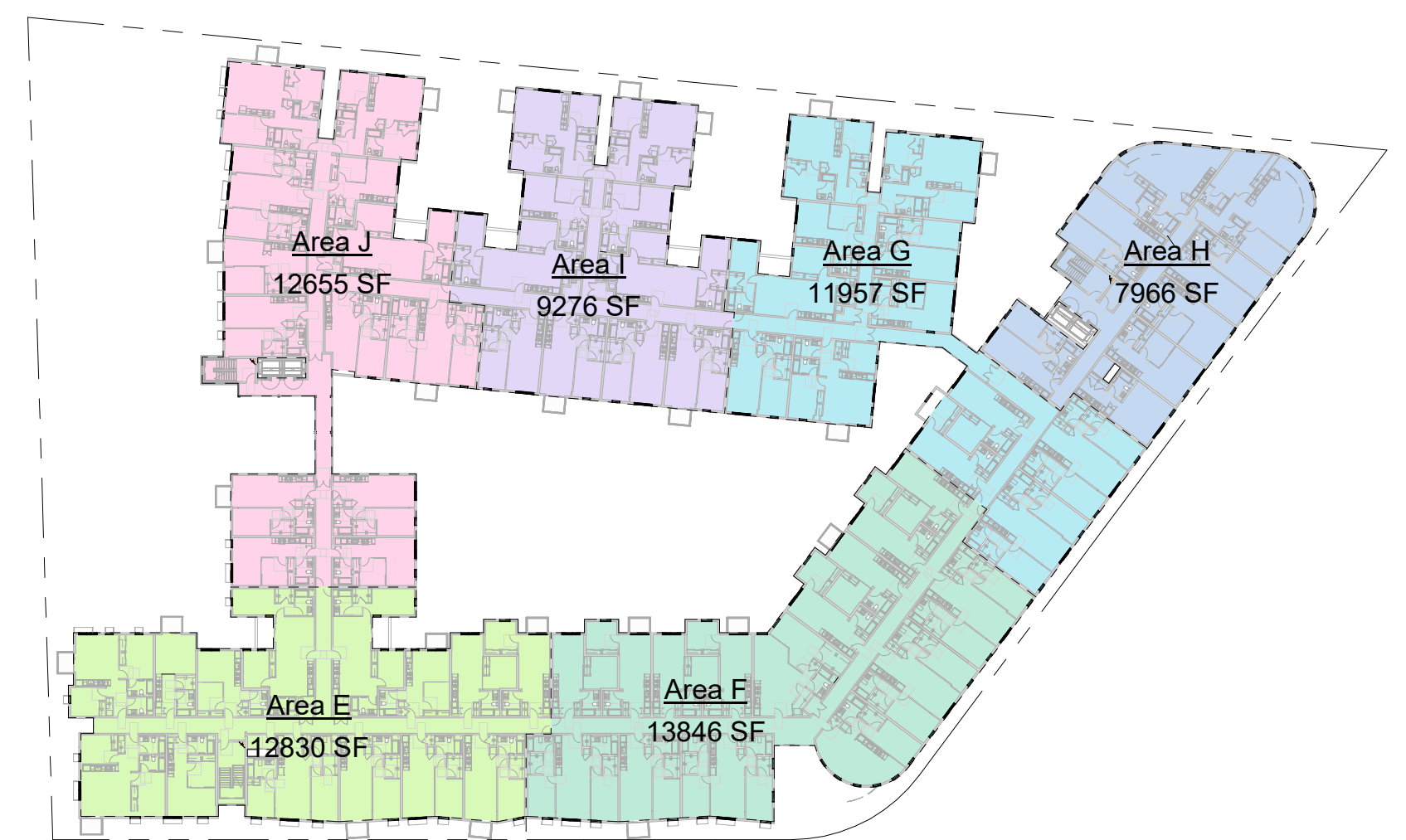
AREA CALCULATIONS - BUILDING A 4



CODE ANALYSIS - SECTION - BUILDING A 3

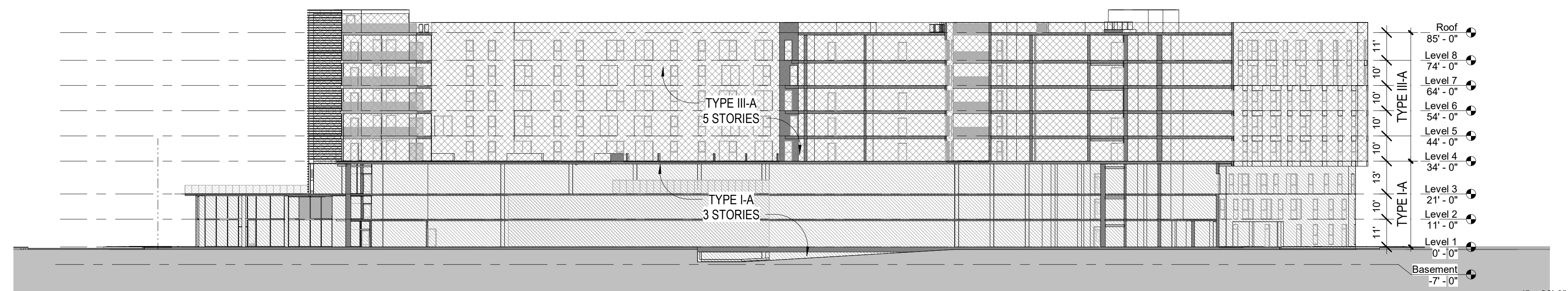


Level 1 Building B
1" = 60'-0"



Level 4-8 Building B
1" = 60'-0"

AREA CALCULATIONS - BUILDING B 2



CODE ANALYSIS - SECTION - BUILDING B (NORTH SOUTH) 1

Woodland Park Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

License Stamp

Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -
April 2024**

Drawing Title

**PLANNING
DIAGRAMS**

Sheet No.

G-202

Date 04/18/2024
Project No. 21620

BUILDING A LOT COVERAGE

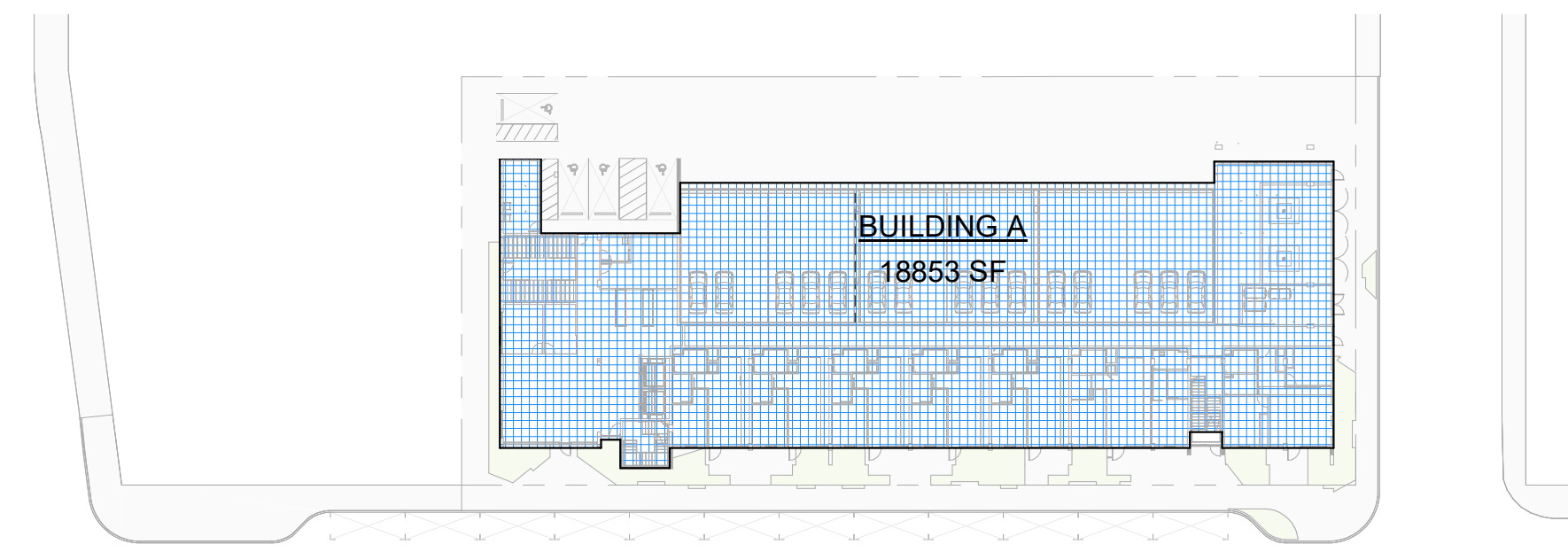
ALLOWABLE
ALLOWABLE LOT COVERAGE = 70% MIN
(PER EPAMC 18.10.030)

ACTUAL
LOT AREA = 31,596 SF
BUILDING FOOTPRINT:

BUILDING A	18853 SF
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ACTUAL LOT COVERAGE = 59%

① BUILDING A SITE COVERAGE
1" = 50'-0"



BUILDING B LOT COVERAGE

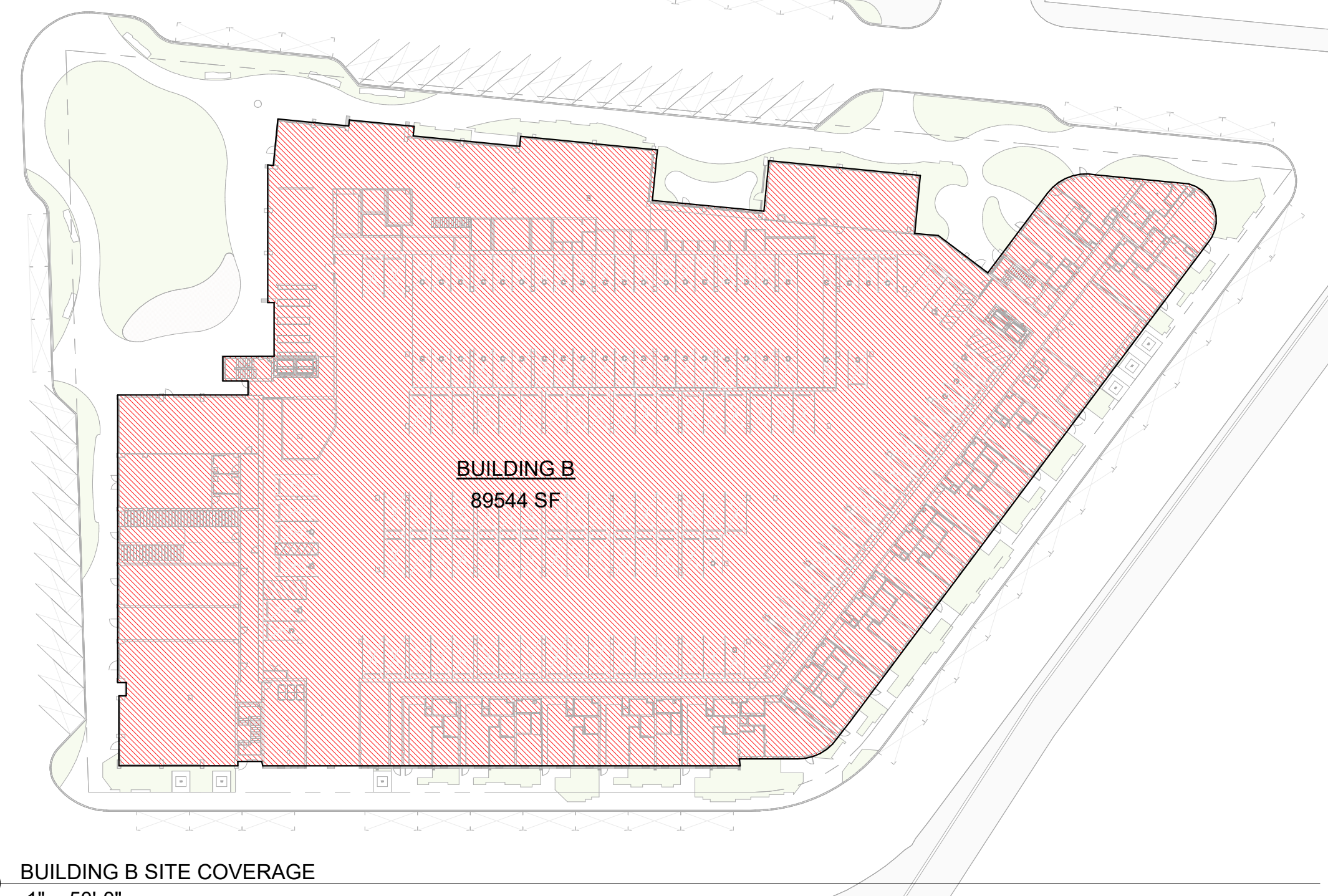
ALLOWABLE
ALLOWABLE LOT COVERAGE = 70%
(PER EPAMC 18.10.030)

ACTUAL
LOT AREA = 139,345 SF
BUILDING FOOTPRINT:

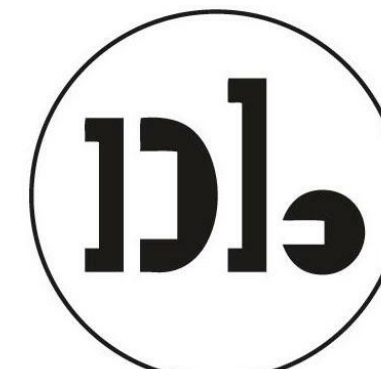
BUILDING B	89544 SF
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ACTUAL LOT COVERAGE = 64%

② BUILDING B SITE COVERAGE
1" = 50'-0"



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Entitlements Submission	09/25/2019

Revisions

Rev.	Description	Date
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Set Title

Application -
September 2019

Drawing Title

**SITE PLAN -
EXISTING**

Sheet No.

A100

Date 08-23-2022
Project No. 21620



Existing properties:

**2021 Euclid Avenue
(11 rent-stabilized units)**

- 11 x Studio Units

**2025 Euclid Avenue
(7 rent-stabilized units)**

- 6 x Studio Units
- 1 x 1 Bedroom Unit

**2031 Euclid Avenue
(12 rent-stabilized units)**

- 12 x 1 Bedroom Units

2032 Euclid Avenue

- 1 x 2 Bedroom Single-Family-House (non-RSO)

**2036 Euclid Avenue
(4 rent-stabilized units)**

- 2 x Studio Units
- 1 x 1 Bedroom Unit
- 1 x 2 Bedroom Unit

**2040 & 2042 Euclid Avenue
(2 rent-stabilized units)**

- 1 x 2 Bedroom Unit
- 1 x 4 Bedroom Unit

**2041 Euclid Avenue
(also known as 420 O'Keefe)**

- Community Engagement Office

2043 Euclid Avenue

- Resident Services Office and Community Technology Center

**2044 Euclid Avenue
(2 rent-stabilized units)**

- 1 x 2 Bedroom Unit
- 1 x 3 Bedroom Unit

**2054 Euclid Avenue
(8 rent-stabilized units)**

- 8 x 1 Bedroom Units

**2012 Euclid Avenue/501 O'Connor Street
(22 rent-stabilized units)**

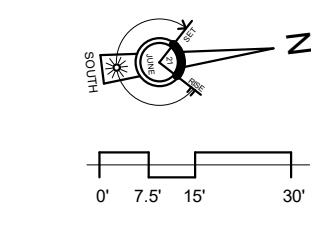
- 22 x 1 Bedroom Units

**2001 Manhattan Avenue
(60 rent-stabilized units)**

- 8 x Studio Units
- 52 x 1 Bedroom Units

**2033 Manhattan Avenue
(32 rent-stabilized units)**

- 26 x Studio Units
- 6 x 1 Bedroom Units



Woodland Park Euclid Improvements



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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

Design Update -
April 2024

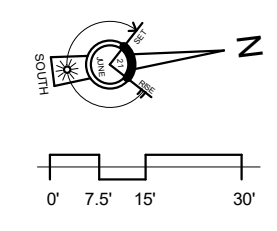
Drawing Title

SITE PLAN -
PROPOSED

Sheet No.

A-101

Date 04/18/2024
Project No. 21620



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Description	Date
Entitlements Update	2/27/2024

Revisions

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1	Response to Comments	4/19/2024

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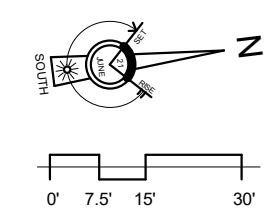
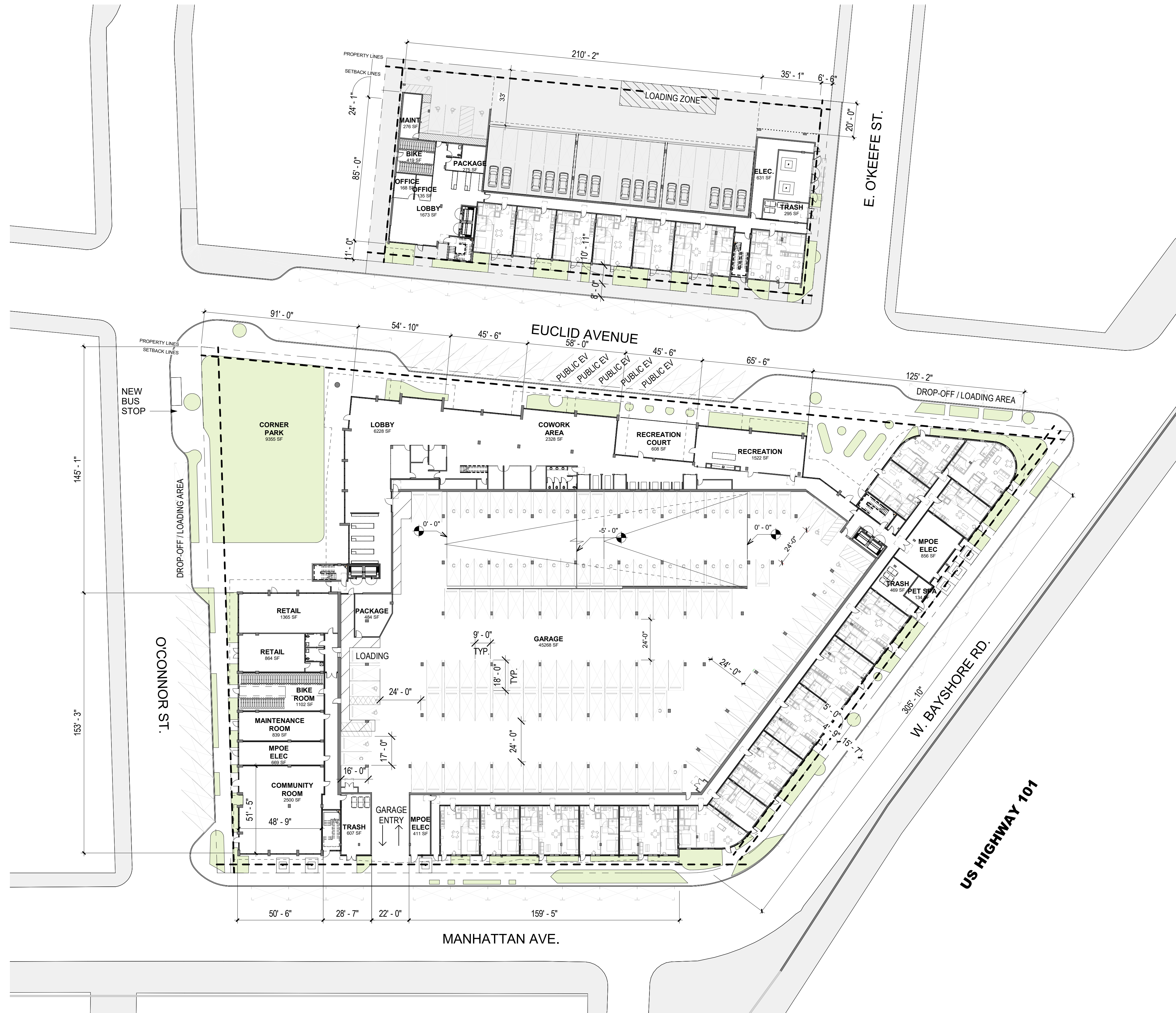
Drawing Title

FLOOR PLAN -
LEVEL 1

Sheet No.

A-201

Date 04/18/2024
Project No. 21620



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Description	Date
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Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

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**Design Update -
April 2024**

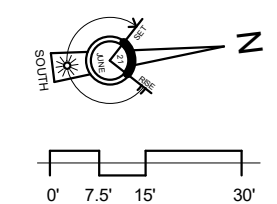
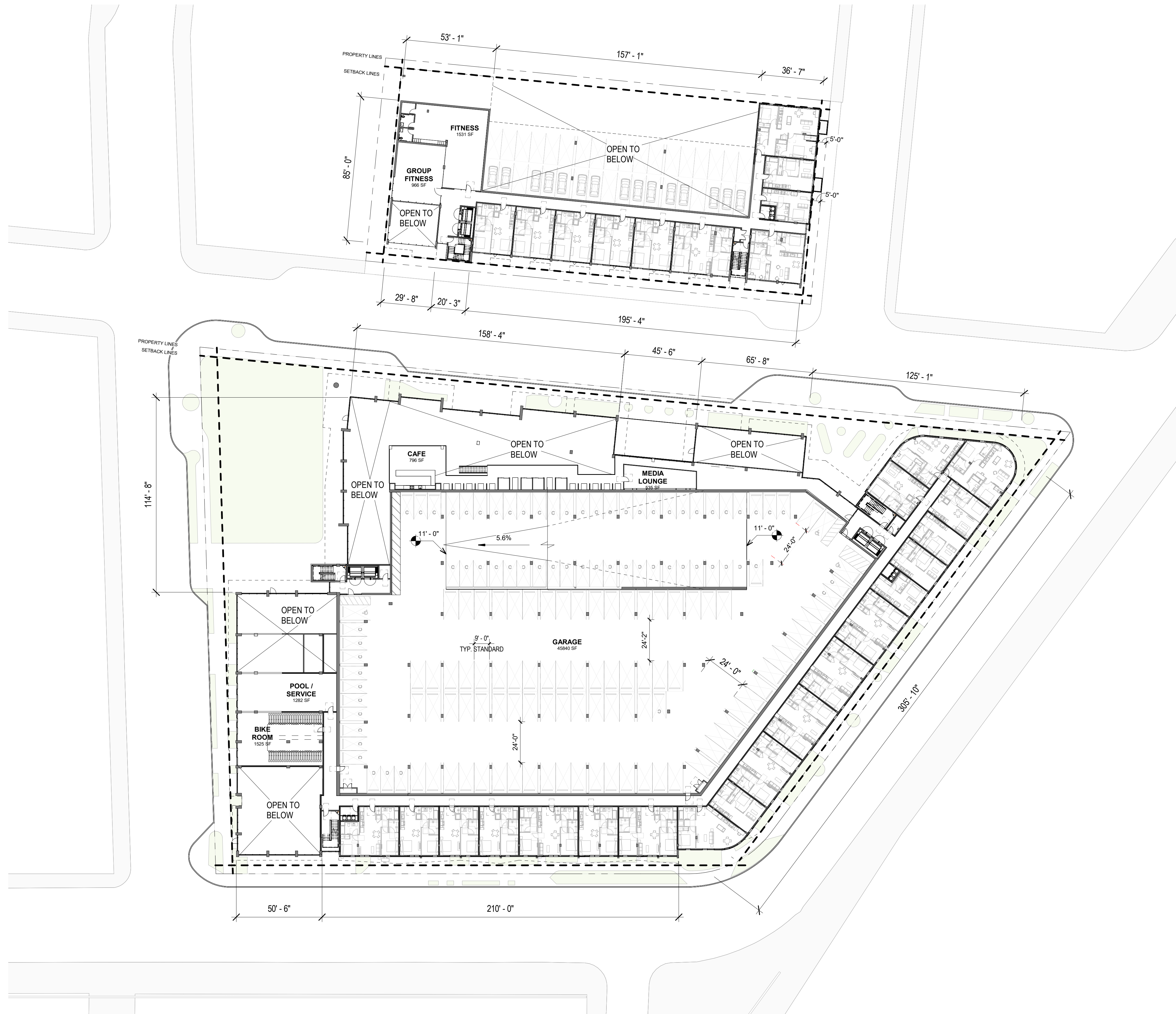
Drawing Title

**FLOOR PLAN -
LEVEL 2**

Sheet No.

A-202

Date 04/18/2024
Project No. 21620



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Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -
April 2024**

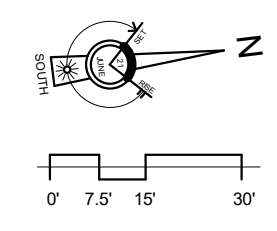
Drawing Title

**FLOOR PLAN -
LEVEL 3**

Sheet No.

A-203

Date: 04/18/2024
Project No.: 21620



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Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

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**Design Update -
April 2024**

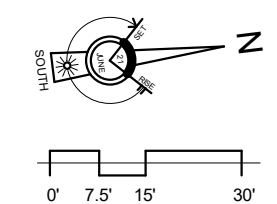
Drawing Title

**FLOOR PLAN -
LEVEL 4**

Sheet No.

A-204

Date: 04/18/2024
Project No.: 21620



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Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -
April 2024**

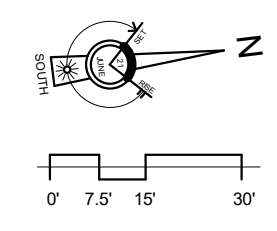
Drawing Title

**FLOOR PLAN -
LEVELS 5-7**

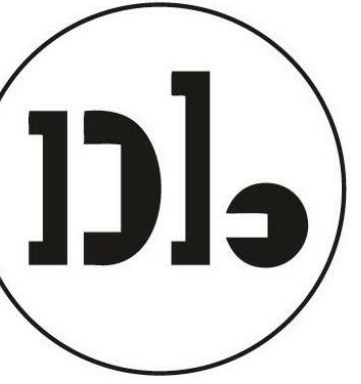
Sheet No.

A-205

Date: 04/18/2024
Project No.: 21620



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Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -
April 2024**

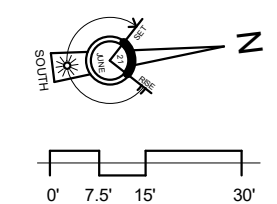
Drawing Title

**FLOOR PLAN -
LEVELS 8**

Sheet No.

A-206

Date: 04/18/2024
Project No.: 21620



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Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

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**Design Update -
April 2024**

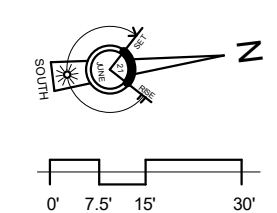
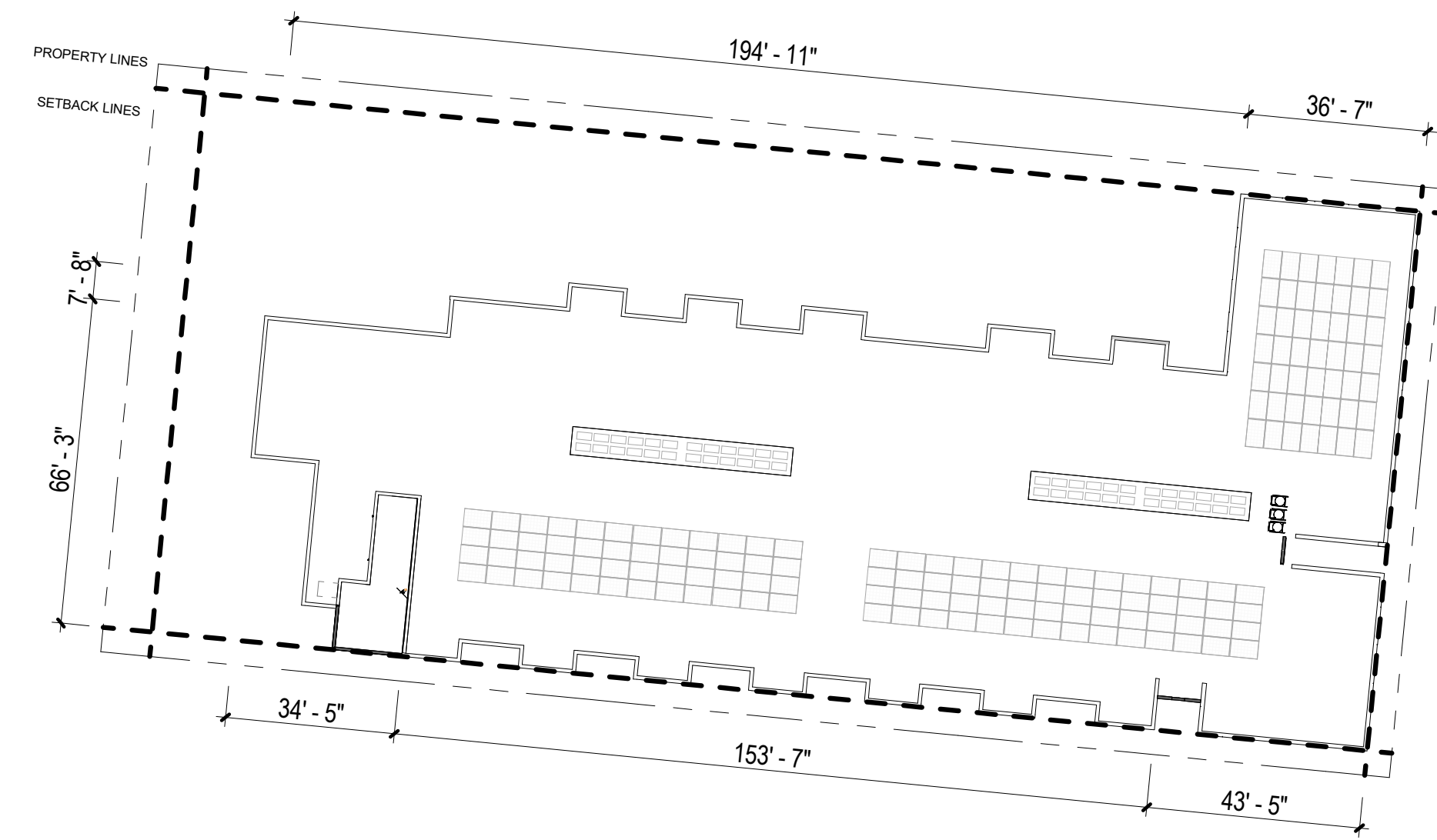
Drawing Title

**FLOOR PLAN -
ROOF**

Sheet No.

A-207

Date: 04/18/2024
Project No.: 21620



① BUILDING B - ROOF LEVEL FLOOR PLAN
1" = 30'-0"

Woodland Park Euclid Improvements



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MATERIAL LEGEND

- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
- 10 - Balconies with Perforated Metal Guardrails
- 11 - Corten Steel Panels
- 12 - Smooth Concrete
- 13 - Metal Sunshade
- 14 - Standing Seam Steel



Key Plan
1" = 160'-0"

NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



License Stamp

Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

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Design Update -
April 2024

Drawing Title

**BUILDING
ELEVATIONS**

Sheet No.

A-300

Date 04/18/2024
Project No. 21620

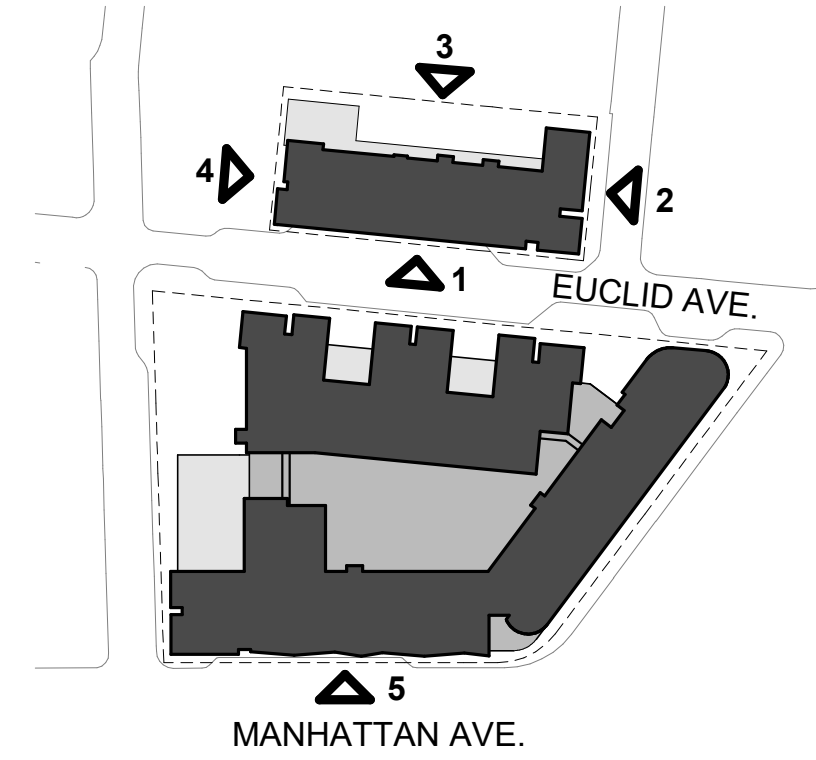
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MATERIAL LEGEND

- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
- 10 - Balconies with Perforated Metal Guardrails
- 11 - Corten Steel Panels
- 12 - Smooth Concrete
- 13 - Metal Sunshade
- 14 - Standing Seam Steel

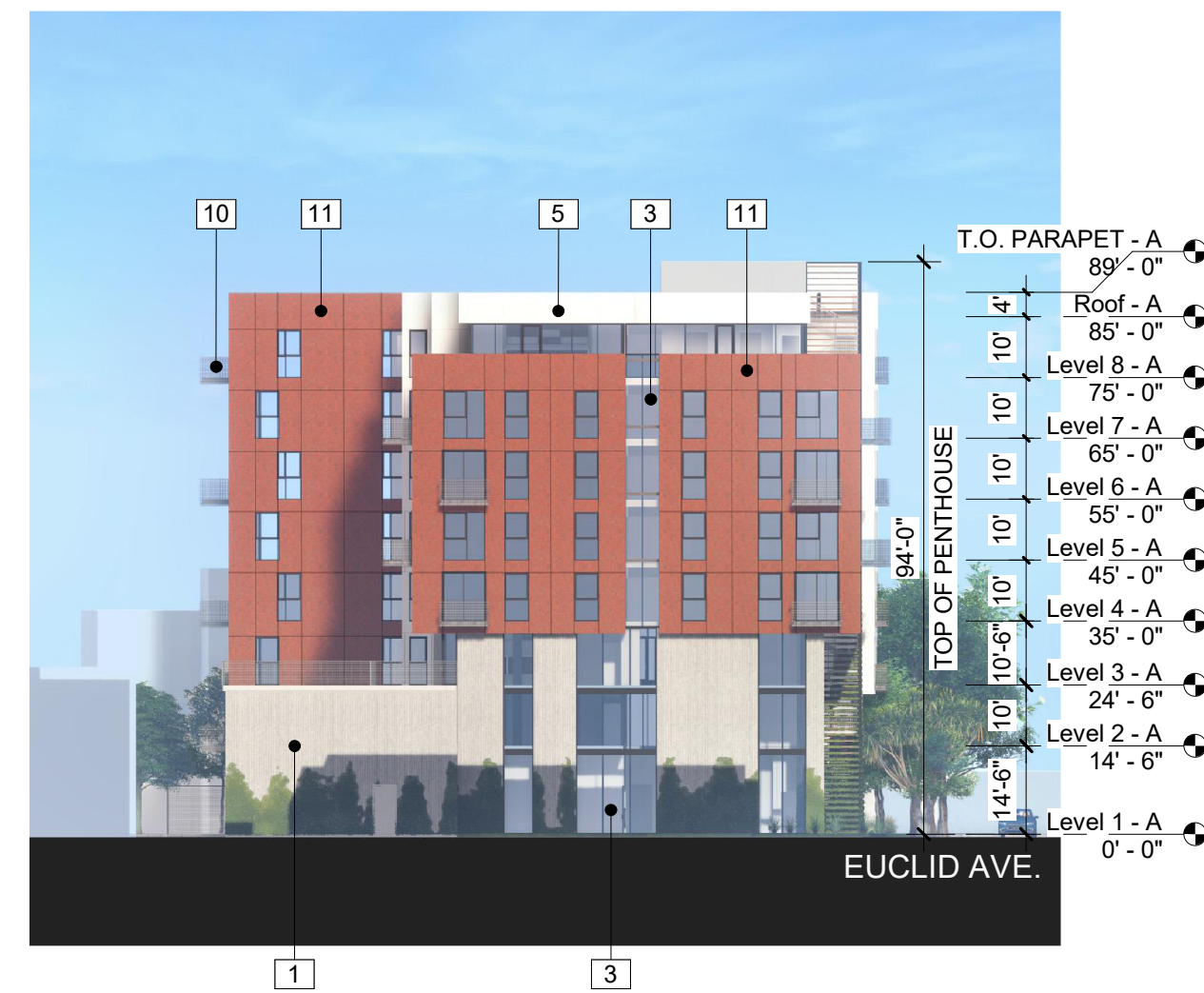


Key Plan
1" = 160'-0"

NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



5 Manhattan Ave. Elevation - East Building
1" = 30'-0"



4 BUILDING A - SOUTH ELEVATION Copy 1
1" = 30'-0"



3 BUILDING A - WEST ELEVATION Copy 1
1" = 30'-0"



2 East O'Keefe St. Elevation - West Building
1" = 30'-0"



1 Euclid Ave. Elevation - West Building
1" = 30'-0"

License Stamp

Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

Design Update -
April 2024

Drawing Title

**BUILDING
ELEVATIONS**

Sheet No.

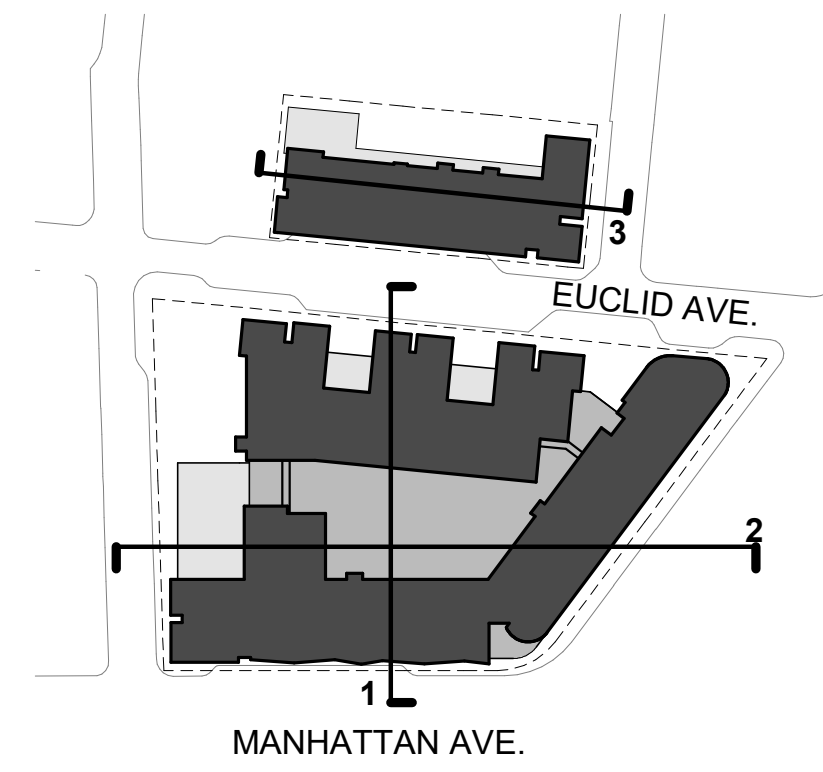
A-301

Date 04/18/2024
Project No. 21620

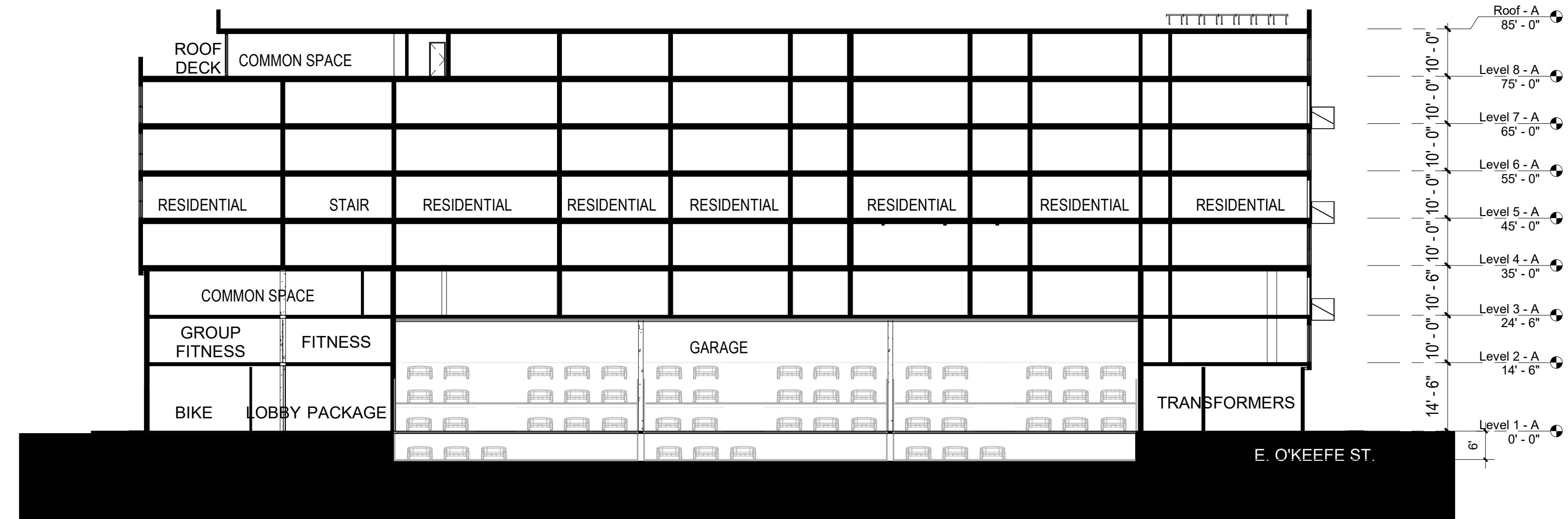
Woodland Park Euclid Improvements



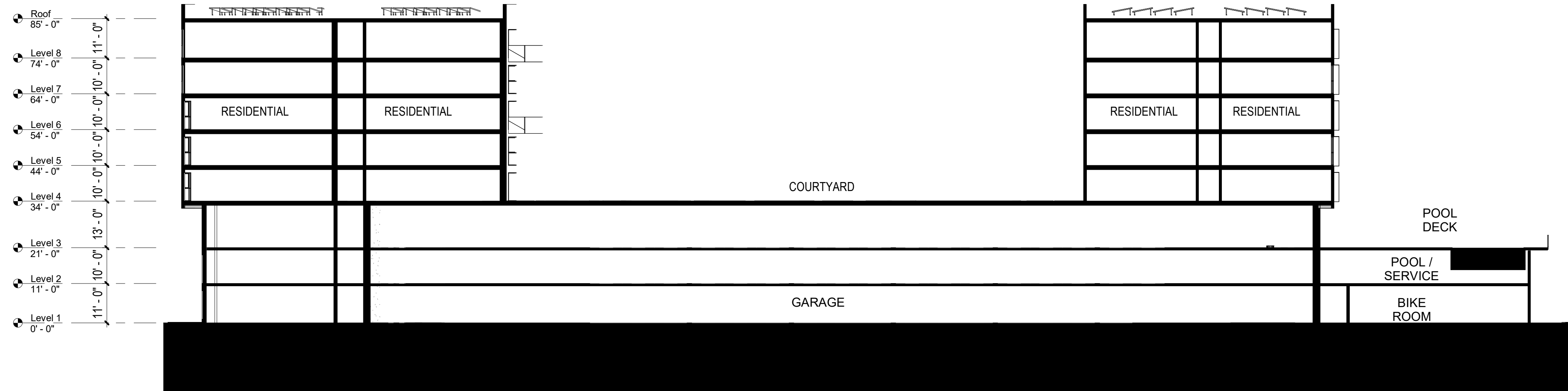
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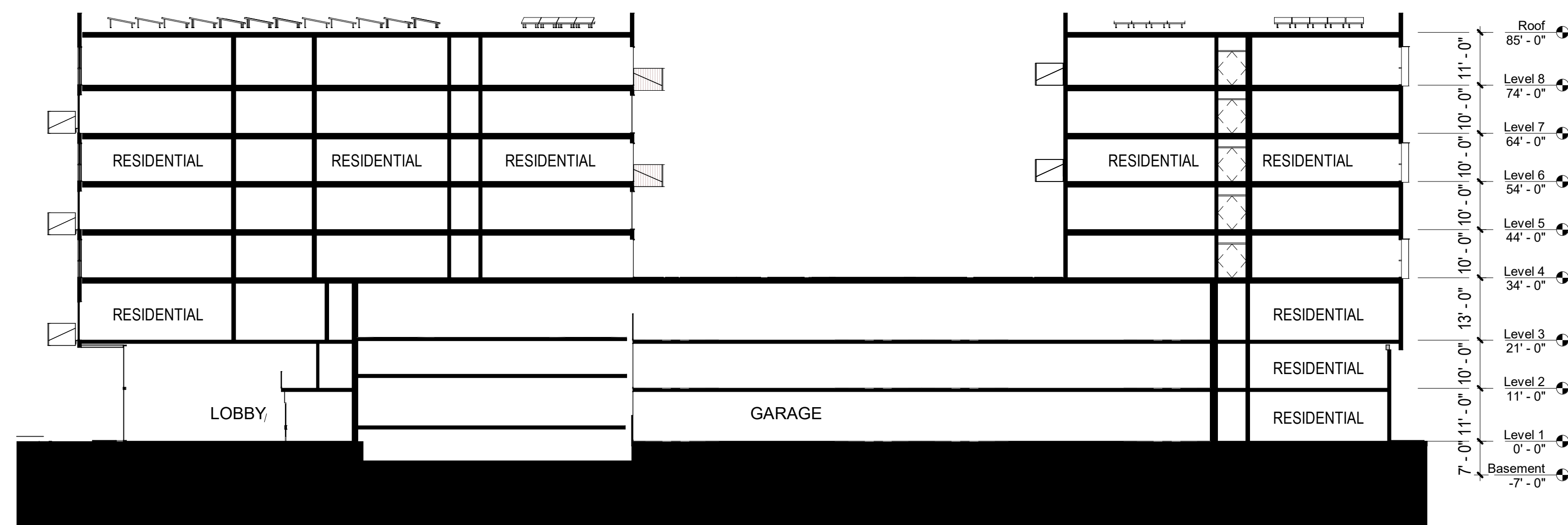
Key Plan
1" = 160'-0"



3 Building Section - N/S West Building
1" = 20'-0"



2 Building Section - N/S
1" = 20'-0"



1 Building Section - E/W
1" = 20'-0"

License Stamp

Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title
**Design Update -
April 2024**

Drawing Title
**BUILDING
SECTIONS**

Sheet No.
A-302

Date: 04/18/2024
Project No.: 21620

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PREVIOUSLY
SUBMITTED SHEET
NO CHANGE

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Issuances

Description	Date
Entitlements Update	1/8/2024

Revisions

Rev.	Description	Date
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Set Title

Entitlements -
January 2024

Drawing Title

EXTERIOR
MATERIALS

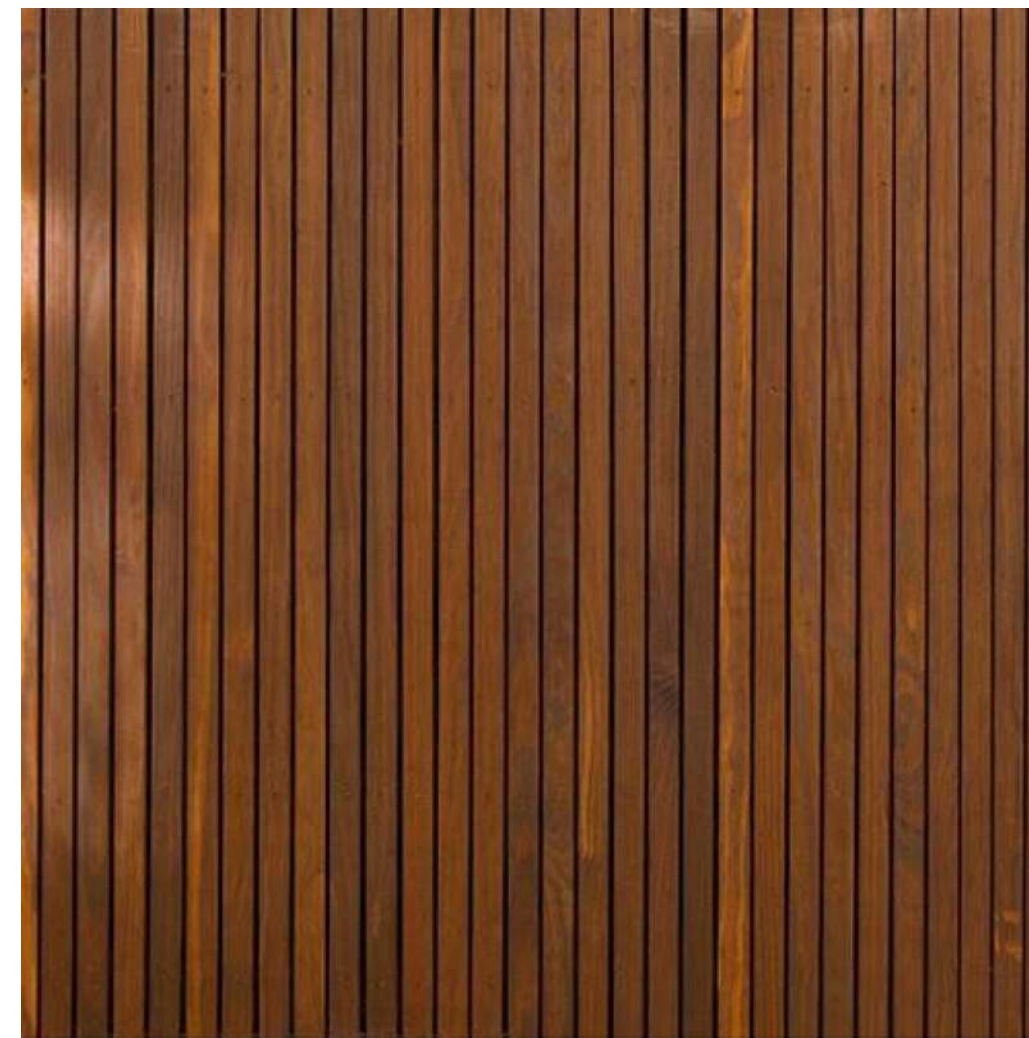
Sheet No.

A303

Date	12-08-2023
Project No.	21620



1 - Textured Concrete with Vine Cover



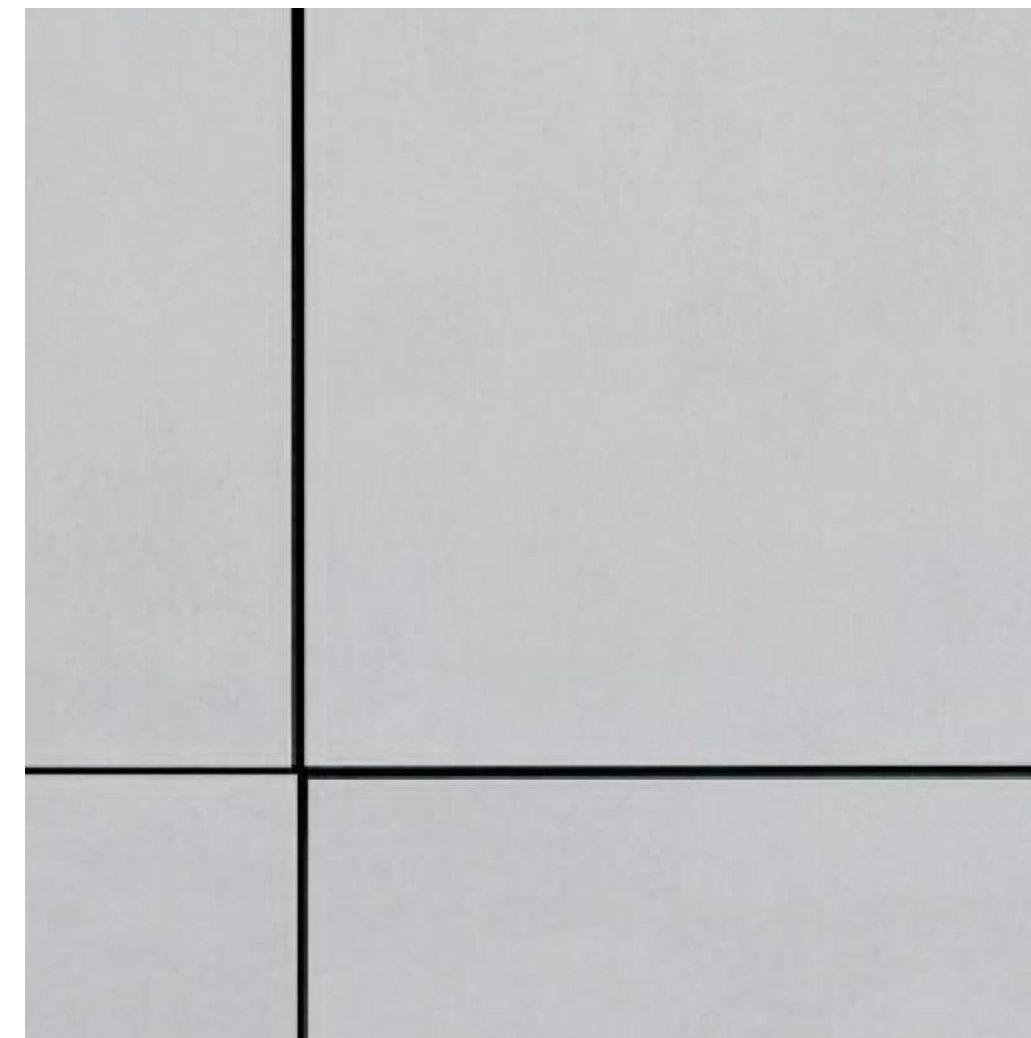
2 - Vertical Wood Siding



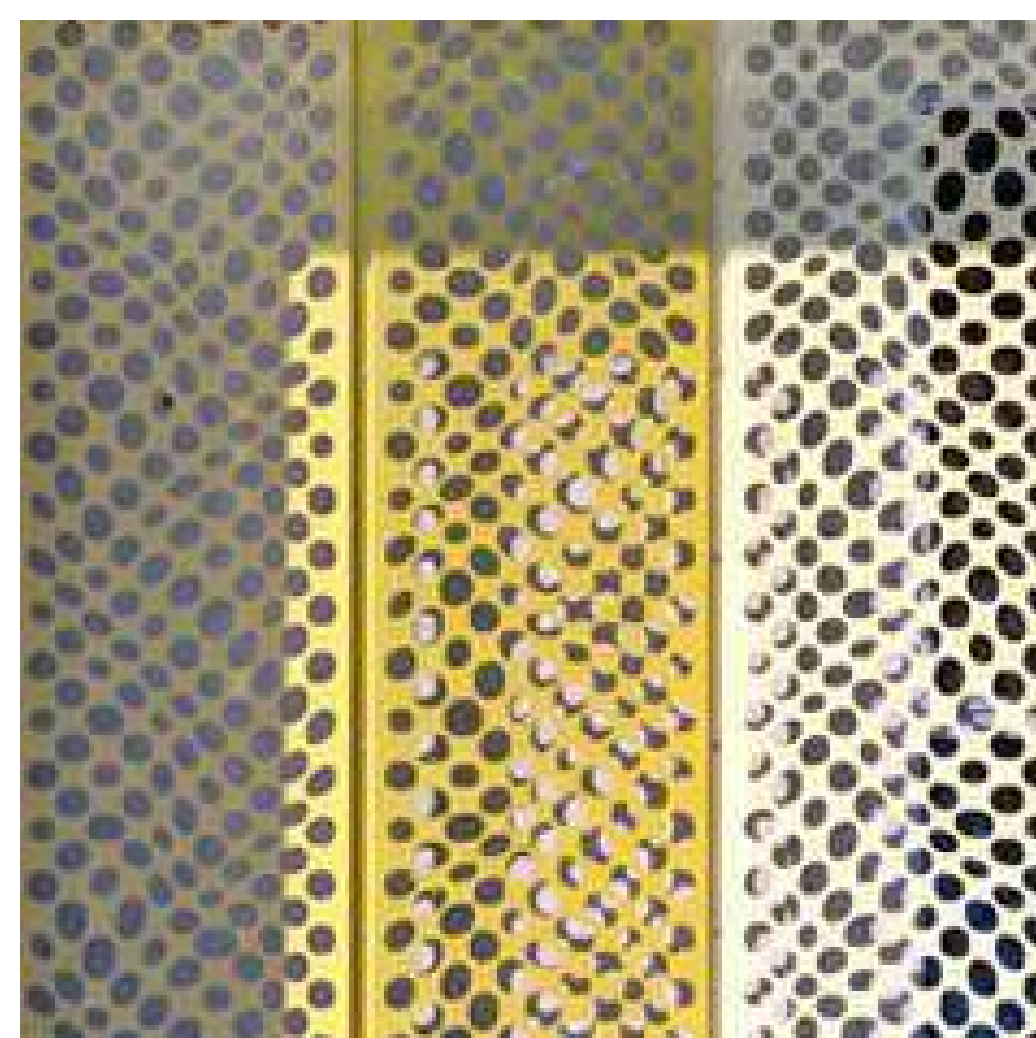
3 - Storefront System



4 - Cement Board (Dark)



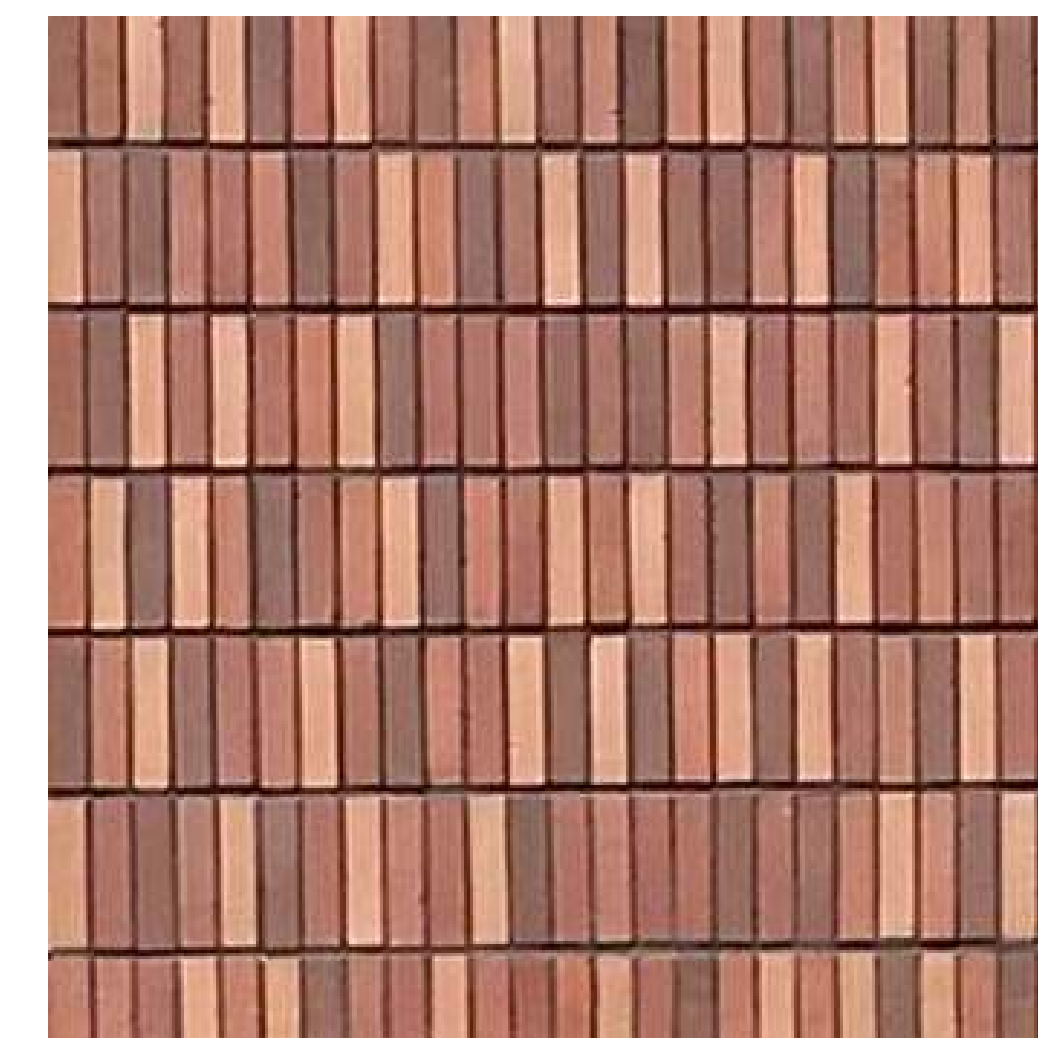
5 - Cement Board (Light)



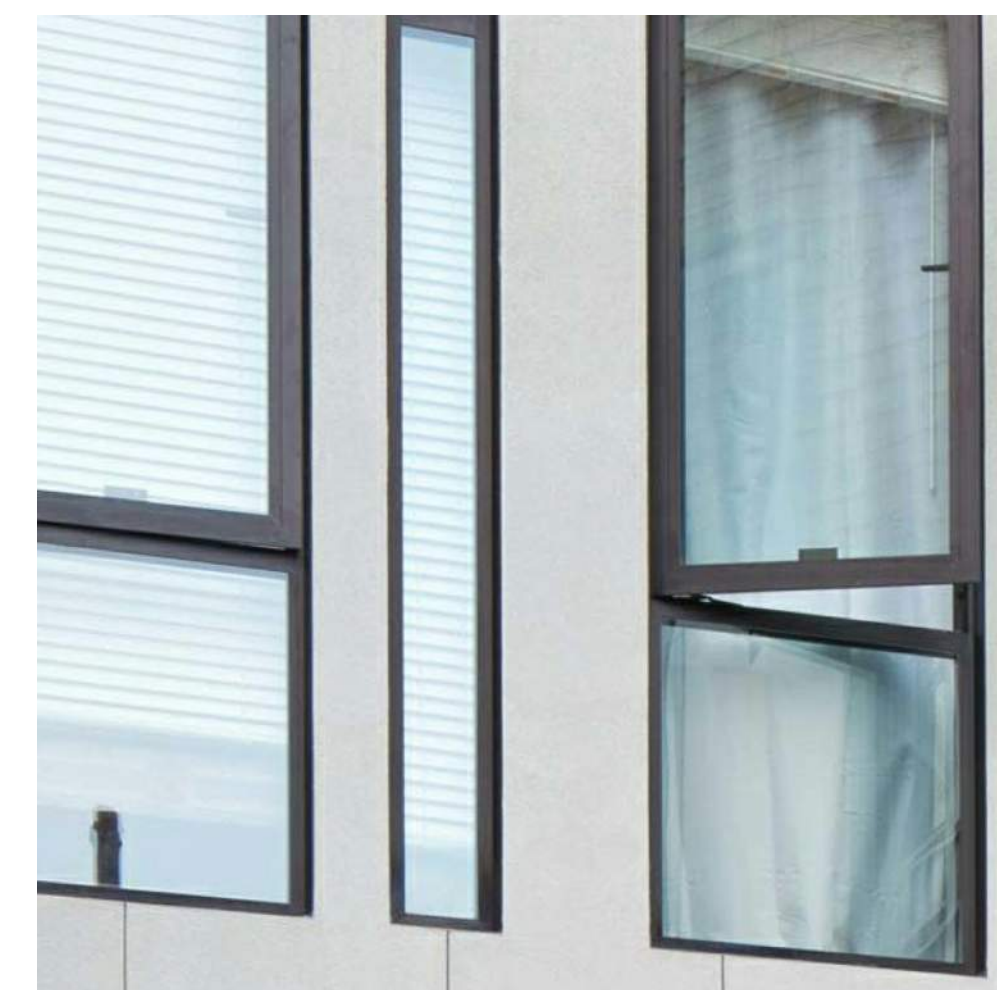
6 - Perforated Metal Screen (Painted)



7 - GFRC



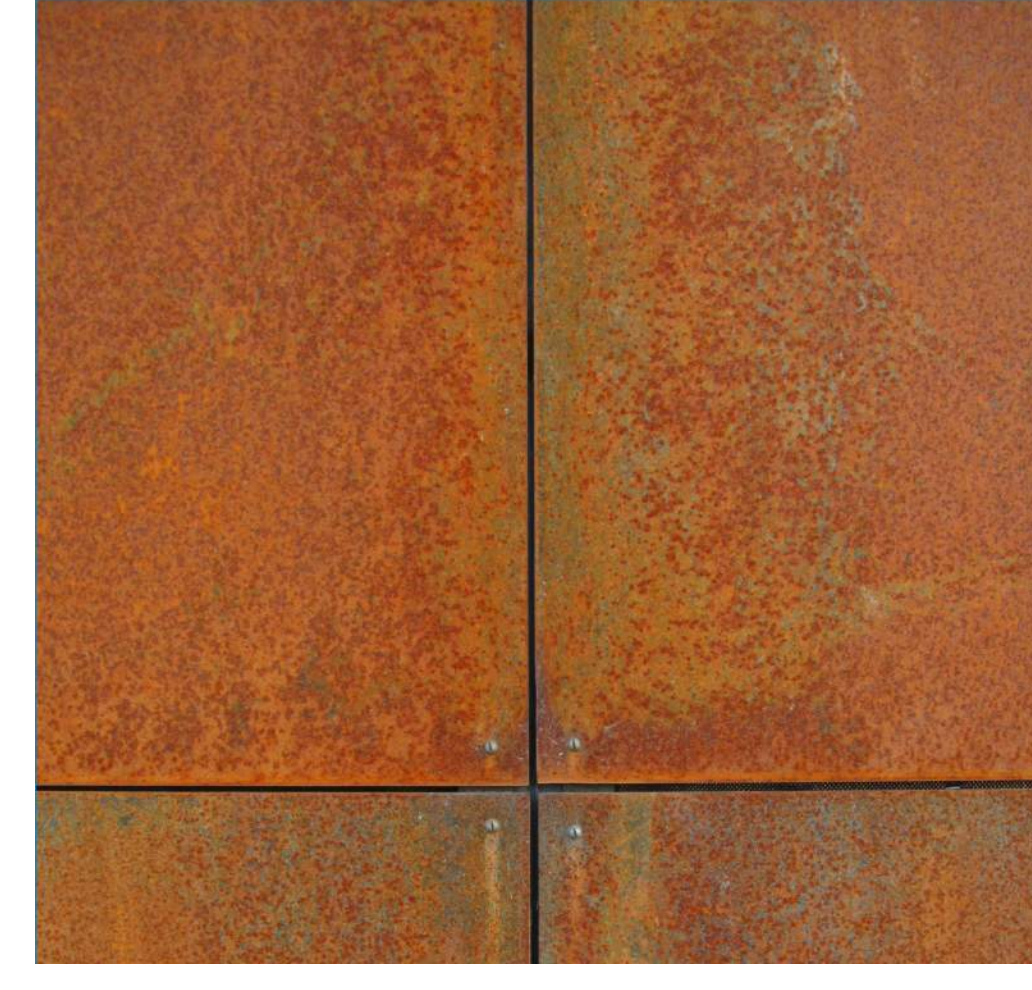
8 - Thin Brick



9 - Aluminum Windows



10 - Balconies with Perforated Metal Guardrails



11 - Corten Steel Panels



12 - Smooth Concrete

Woodland Park Euclid Improvements



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Description	Date
Entitlements Update	2/27/2024

Revisions

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1	Response to Comments	4/19/2024

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Design Update -
April 2024

Drawing Title

CONCEPTUAL
LIGHTING PLAN

Sheet No.

A-511

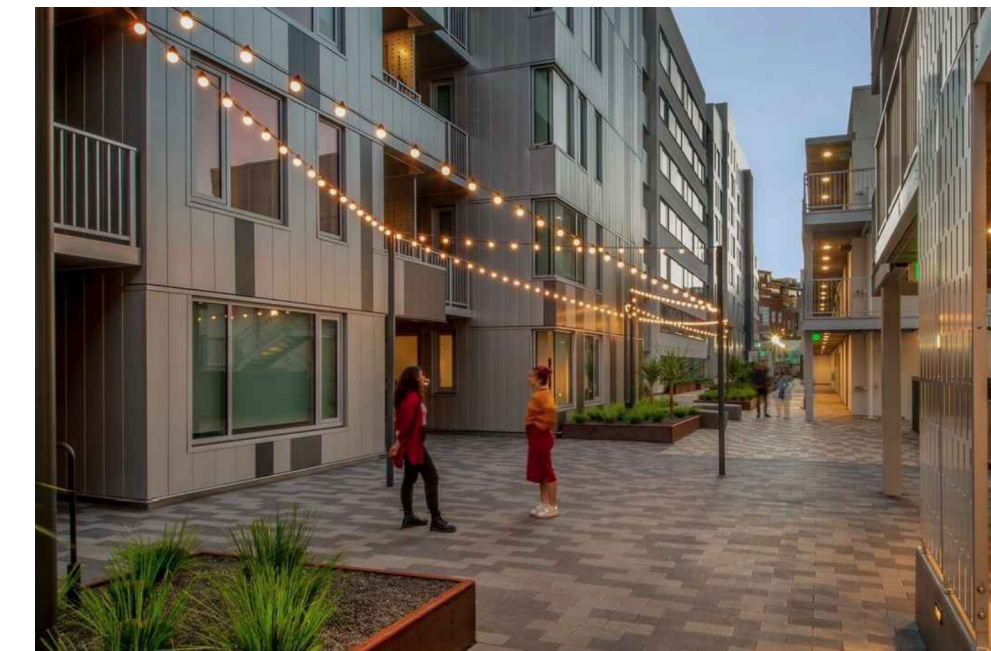
Date 04/18/2024
Project No. 21620



L1
DECORATIVE BOLLARD LIGHT



L2
WALL MOUNTED DOWN LIGHT



L3
HANGING STRING "FESTOON-STYLE" LIGHTS

- NOTES:**
1. OUTDOOR LIGHTING WILL COMPLY WITH EPAMC 18.22.050
 2. OUTDOOR LIGHTING LEVELS WILL COMPLY WITH EPAMC 18.22.050 (C)
 3. OUTDOOR LIGHTING WILL BE DESIGNED TO MINIMIZE ADVERSIVE IMPACTS ON ADJACENT PROPERTIES AND TO NOT PRODUCE GLARE ONTO ADJACENT PROPERTIES OR ROADWAYS.
 4. PARKING AREA LIGHT FIXTURES AND LIGHT FIXTURES ON STRUCTURES SHALL BE FULL CUT-OFF FIXTURES



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1	Response to Comments	4/19/2024

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**Design Update -
April 2024**

Drawing Title

**OPEN SPACE
DIAGRAMS**

Sheet No.

A-500

Date: 04/18/2024
Project No.: 21620

EAST PALO ALTO DEVELOPMENT CODE 18.08.010:

Common Open Space. The land area within a residential or nonresidential development not individually owned or dedicated for public use and designed, intended, and reserved exclusively for the shared enjoyment or use by all the residents and their guests. Does not include enclosed spaces/facilities (e.g., community center, meeting rooms, etc.)

Private Open Space. An outdoor or unenclosed area directly adjoining and accessible to a dwelling unit, reserved for the exclusive private enjoyment and use of residents of the dwelling unit and their guests (e.g., balcony, deck, porch, terrace, etc.). Boundaries are evident through the use of fences, gates, hedges, walls, or other similar methods of controlling access and maintaining privacy.

Publicly Accessible / Usable Open Space. An outdoor or unenclosed area within a residential development on the ground, or on a roof, balcony, deck, porch or terrace, designed and accessible for outdoor living, active or passive recreation, pedestrian access, or landscaping. Parking facilities, driveways, utility or service areas and submerged land do not constitute usable open space.

OPEN SPACE - PROVIDED

WEST PARCEL (BUILDING A)

COMMON:

Level 3	OPEN SPACE - COMMON	2,083 SF
Level 8	OPEN SPACE - COMMON	2,234 SF
		4,317 SF

PRIVATE:

(BALCONIES)

Level 1	OPEN SPACE - PRIVATE	1	2,192 SF
Level 3	OPEN SPACE - PRIVATE	7	1,636 SF
Level 4	OPEN SPACE - PRIVATE	11	509 SF
Level 5	OPEN SPACE - PRIVATE	12	559 SF
Level 6	OPEN SPACE - PRIVATE	9	432 SF
Level 7	OPEN SPACE - PRIVATE	9	433 SF
Level 8	OPEN SPACE - PRIVATE	6	288 SF
		55	6,050 SF

WEST PARCEL GRAND TOTAL 10,367 SF

USABLE / PUBLIC:

Level 1	OPEN SPACE - PUBLIC	1,913 SF
		1,913 SF

PROJECT TOTAL:

TOTAL OPEN SPACE PROVIDED: 10,367 SF + 46,419 SF = 56,786 SF TOTAL (103 SF PER UNIT)

EAST PARCEL (BUILDING B)

COMMON:

Level 1	OPEN SPACE - COMMON	994 SF
Level 3	OPEN SPACE - COMMON	6,352 SF
Level 4	OPEN SPACE - COMMON	17,018 SF
Level 8	OPEN SPACE - COMMON	3,251 SF
		27,615 SF

PRIVATE:

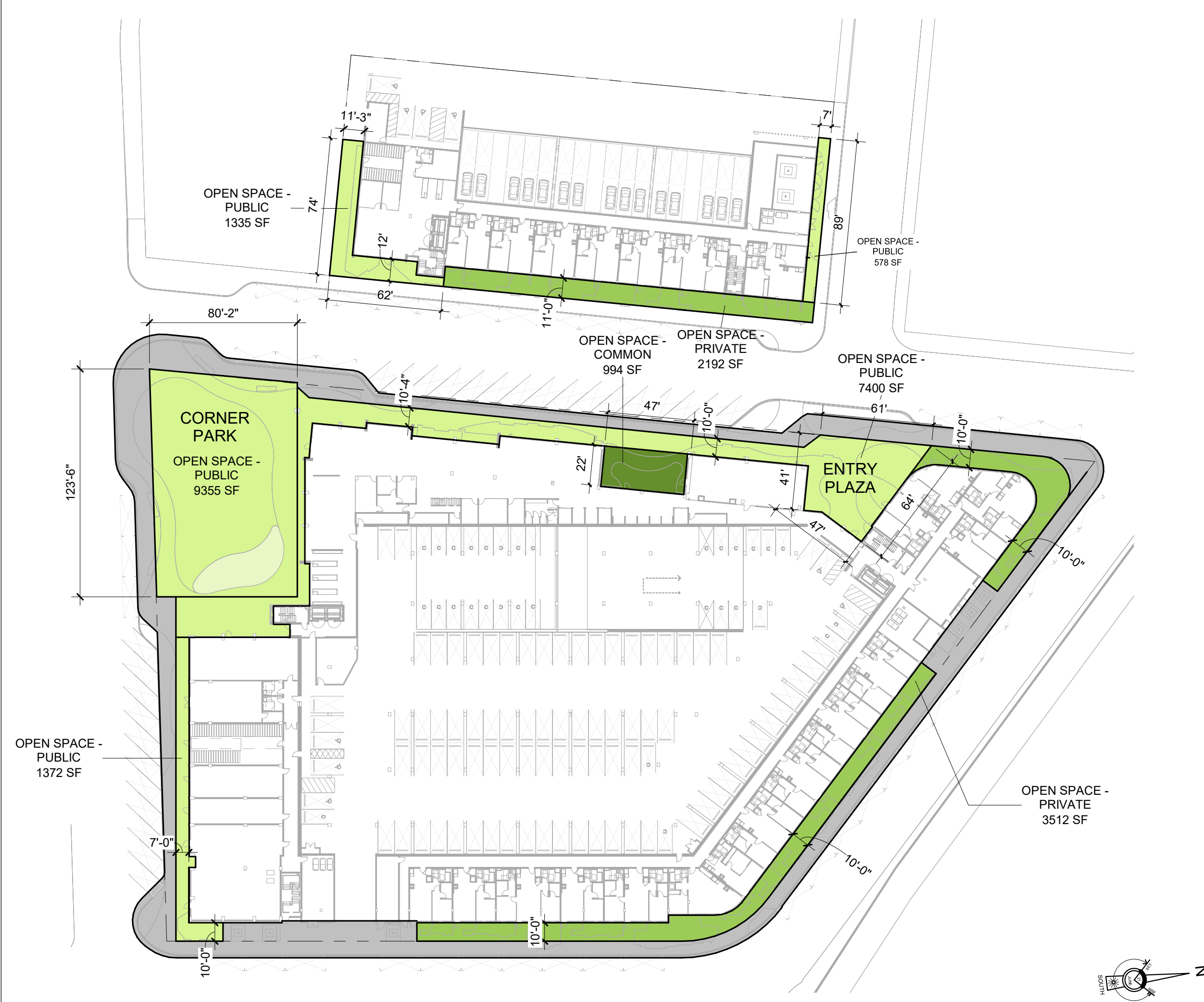
(BALCONIES)

Level 1	OPEN SPACE - PRIVATE	2	5,130 SF
Level 3	OPEN SPACE - PRIVATE	14	3,137 SF
Level 4	OPEN SPACE - PRIVATE	49	2,975 SF
Level 5	OPEN SPACE - PRIVATE	40	2,071 SF
Level 6	OPEN SPACE - PRIVATE	34	1,782 SF
Level 7	OPEN SPACE - PRIVATE	40	2,071 SF
Level 8	OPEN SPACE - PRIVATE	31	1,638 SF
		210	18,804 SF

EAST PARCEL GRAND TOTAL 46,419 SF

USABLE / PUBLIC:

Level 1	OPEN SPACE - PUBLIC	18,211 SF
		18,211 SF



1 LEVEL 1 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"



2 LEVEL 3 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"

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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -
April 2024**

Drawing Title

**OPEN SPACE
DIAGRAMS**

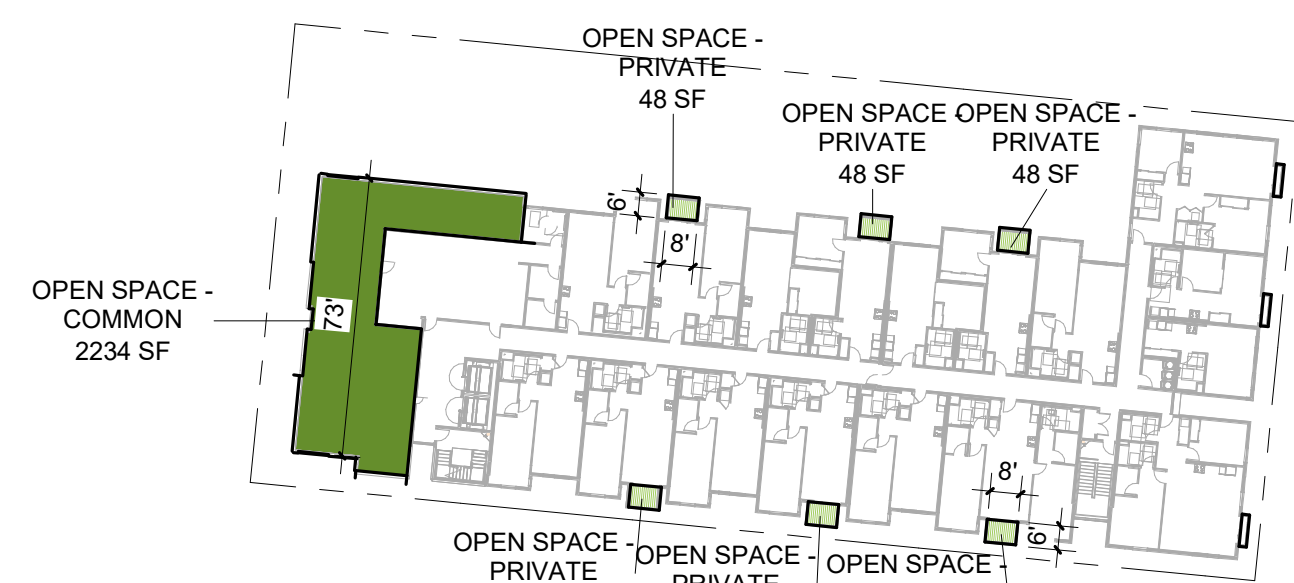
Sheet No.

A-502

Date 04/18/2024
Project No. 21620



① LEVEL 4 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"



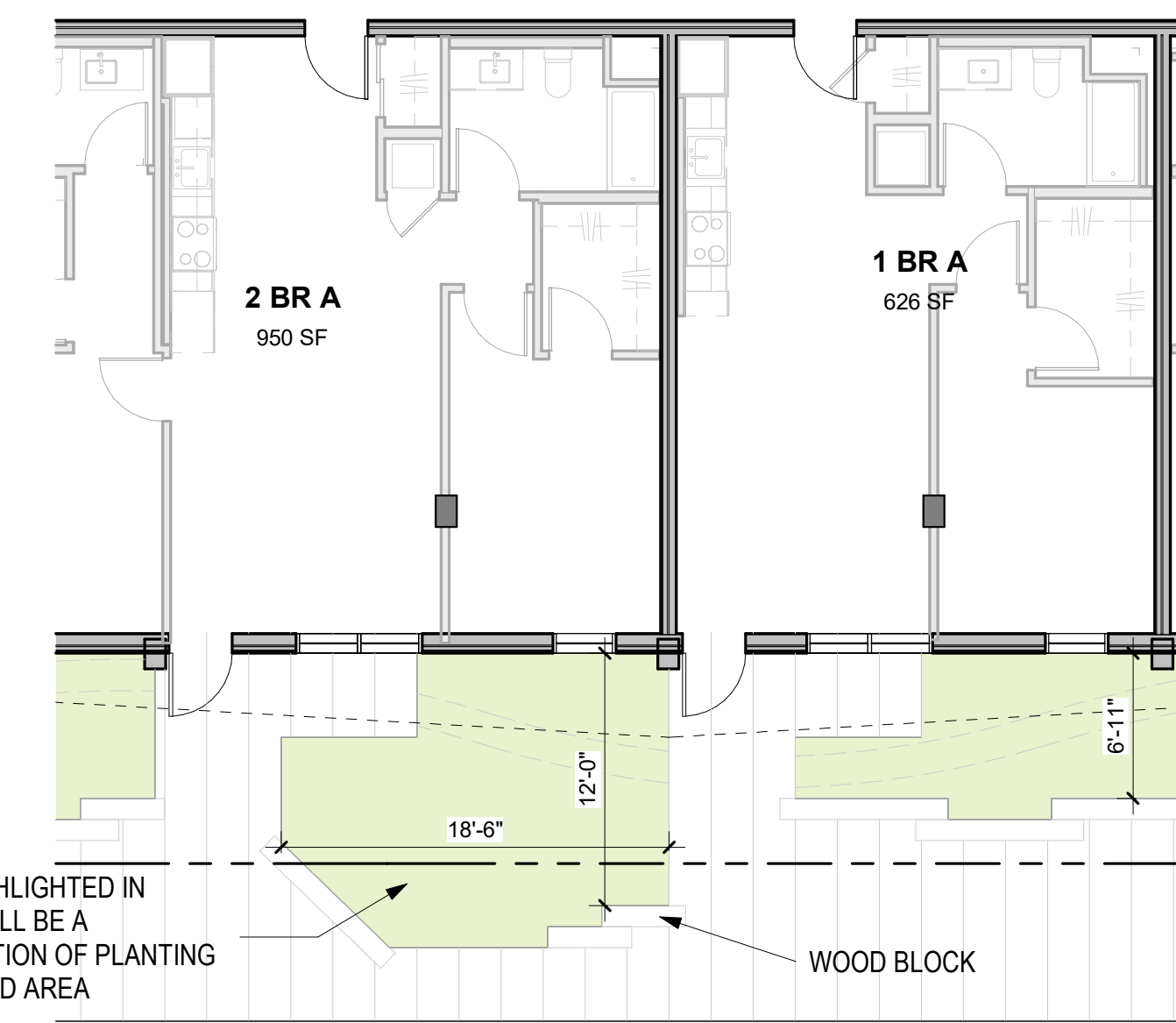
② LEVEL 8 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"



PRECEDENT IMAGE OF PLANTING SEPARATION



PRECEDENT IMAGE OF WOOD BLOCK SEPARATION



③ GROUND FLOOR PATIO CONCEPT
1/8" = 1'-0"

CONCEPTUAL DESIGN OF PRIVATE PATIO AREAS ALONG EUCLID, BAYSHORE AND MANHATTAN GROUND FLOOR UNITS.

ALL DESIGNATED UNIT PATIOS ARE A MINIMUM OF 6' IN DEPTH AND ARE UNENCLOSED AREAS DIRECTLY ADJOINING THE DWELLING UNIT. THE PATIOS PROVIDE OUTDOOR GATHERING/PLANTING/SEATING SPACE TO THE RESIDENTS. PLANTING, WOOD BLOCKS, CURBS AND MATERIAL CHANGES ARE EXAMPLES OF WHAT WILL BE USED TO CREATE THE BOUNDARY BETWEEN THE PUBLIC SIDEWALK AND THE OUTDOOR, UNENCLOSED AREA DIRECTLY ADJOINING THE DWELLING UNIT.

AREA HIGHLIGHTED IN GREEN WILL BE A COMBINATION OF PLANTING AND PAVED AREA

WOOD BLOCK

Woodland Park Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700



HOOD DESIGN STUDIO, Inc.
3001 FLORIST AVE
SUITE 2
OAKLAND, CA 94608
510.486.0888
www.hooddesignstudio.com

LEGEND:

PAVING		
KEY	SYMBOL	DESCRIPTION / LOCATION
P1		DECOMPOSED GRANITE
P2		GRAVEL
P3		CIP CONCRETE
P4		ASPHALT BLOCK PAVER
P5		CIP COLORED CONCRETE
P6		STONE PAVERS

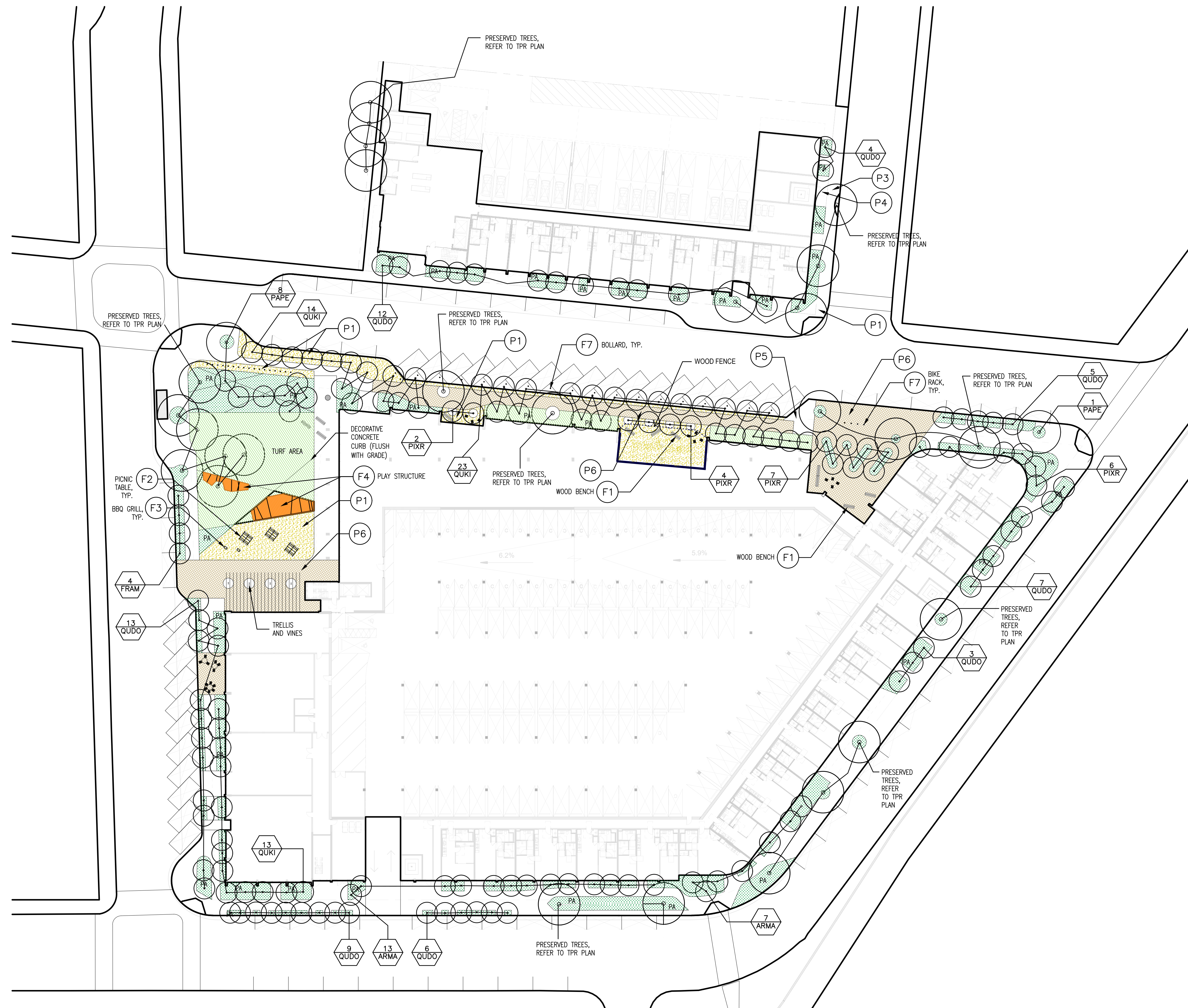
FURNISHINGS		
KEY	SYMBOL	DESCRIPTION / LOCATION
F1		WOOD BENCH
F2		PICNIC TABLE
F3		BBQ GRILL
F4		CUSTOM PLAY AND SEATING STRUCTURE
F5		CURVED CONCRETE BENCH
F6		GARDEN BED
F7		BIKE RACK / BOLLARD

LIGHT FIXTURES		
KEY	SYMBOL	DESCRIPTION / LOCATION

PLANT LIST

TREES	
KEY	COMMON NAME
FRAM	WHITE ASH
ARMA	MARINA STRAWBERRY TREE
QUDO	BLUE OAK
PIXR	RED PUSH PISTACHE
QUKI	KINDRED SPIRIT OAK
PAPE	IRONWOOD

PA PLANTING AREA



Issuances	
Description	Date

Revisions		
Rev.	Description	Date

Set Title

Entitlements
Application

Drawing Title

Landscape
Site Plan

Sheet No.

L-1.0

Date 27 February, 2024
Project No. 21620

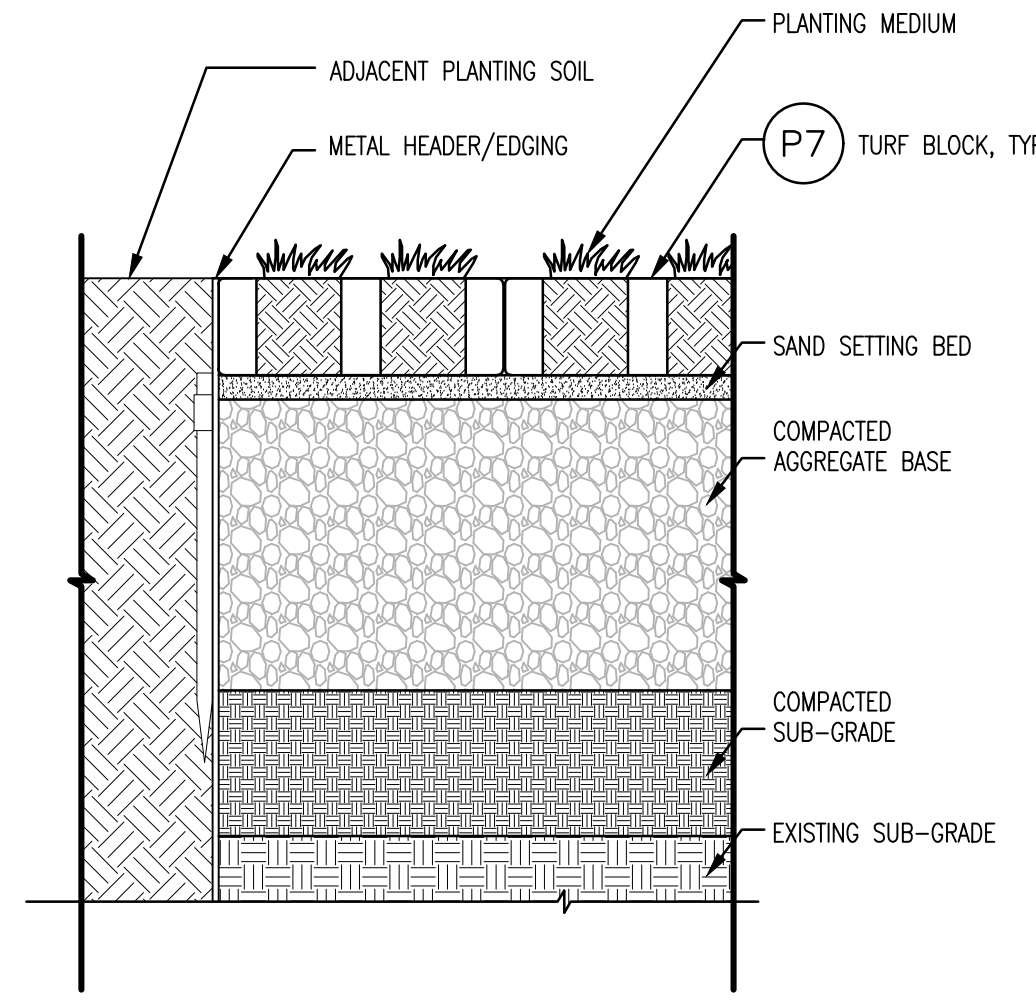
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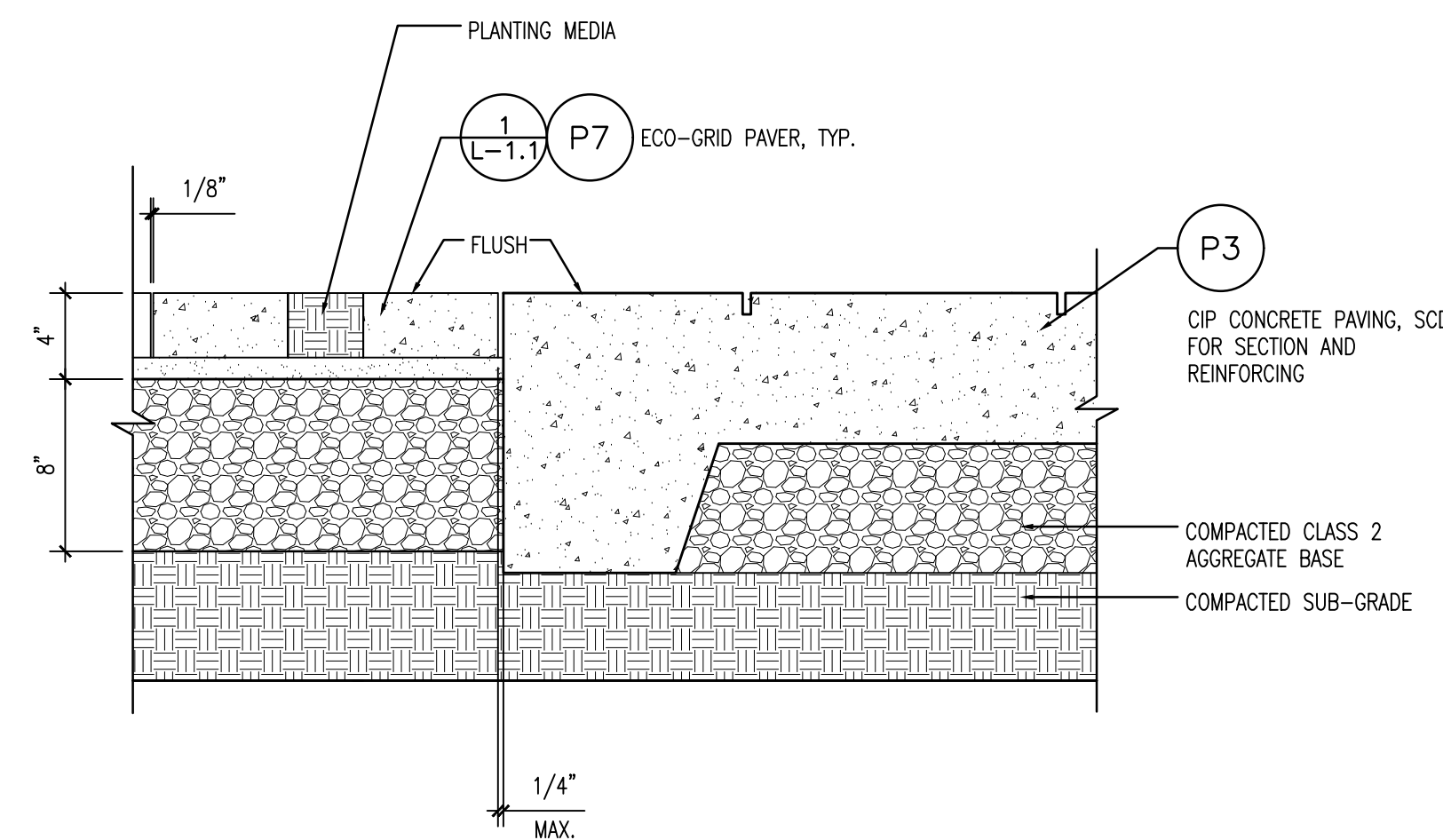
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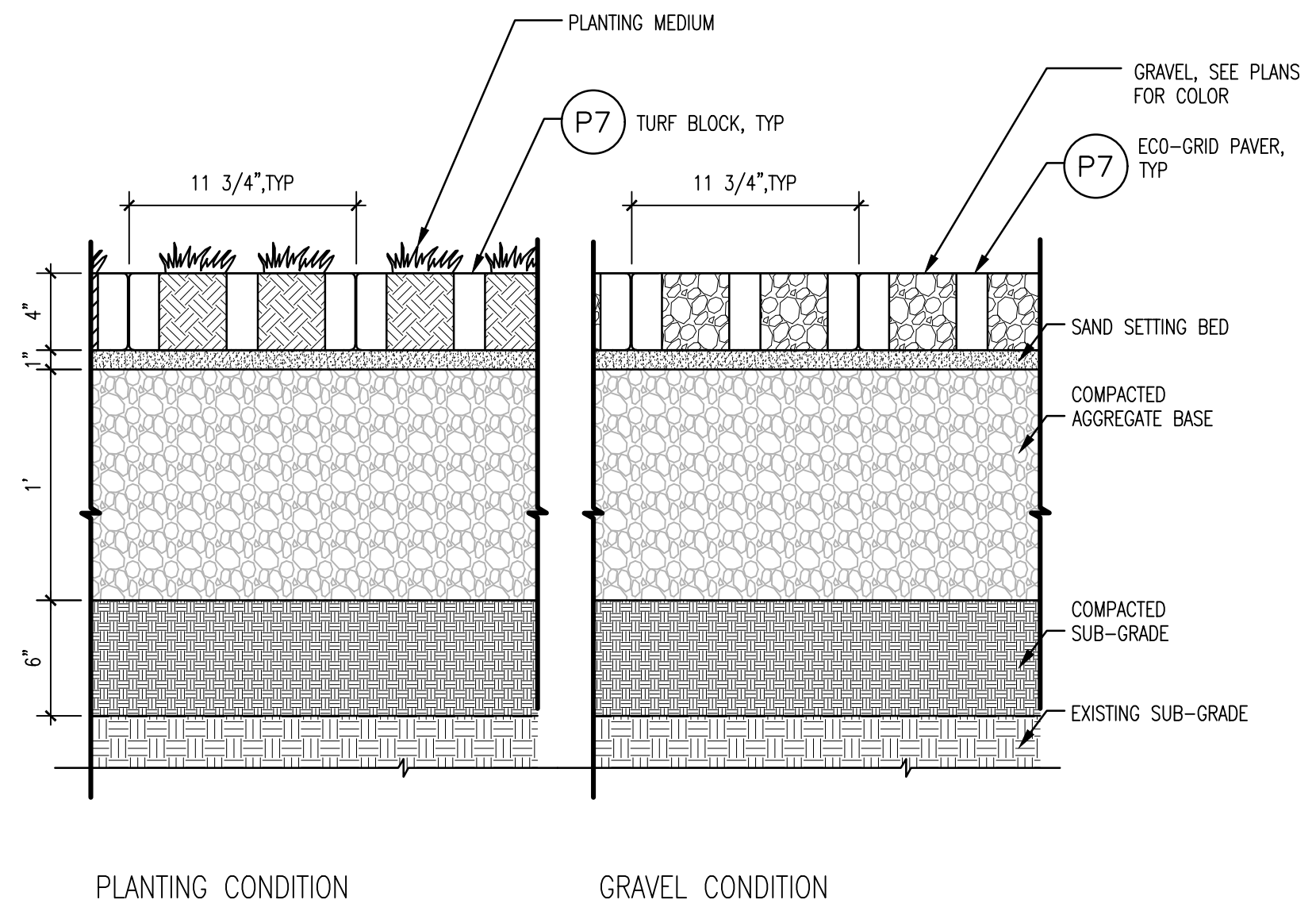
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5 P7 – ECO-GRID PAVER AT PLANTING
SCALE: 1-1/2" = 1' - 0"



4 P7 – ECO-GRID PAVER AT CONCRETE PAVING
SCALE: 1-1/2" = 1' - 0"



3 P7 – ECO-GRID PAVER, TYPICAL
SCALE: 1-1/2" = 1' - 0"

Issuances	
Description	Date

Revisions		
Rev.	Description	Date

Set Title
**Design Update -
February 2024**
Drawing Title
**Landscape
Details**

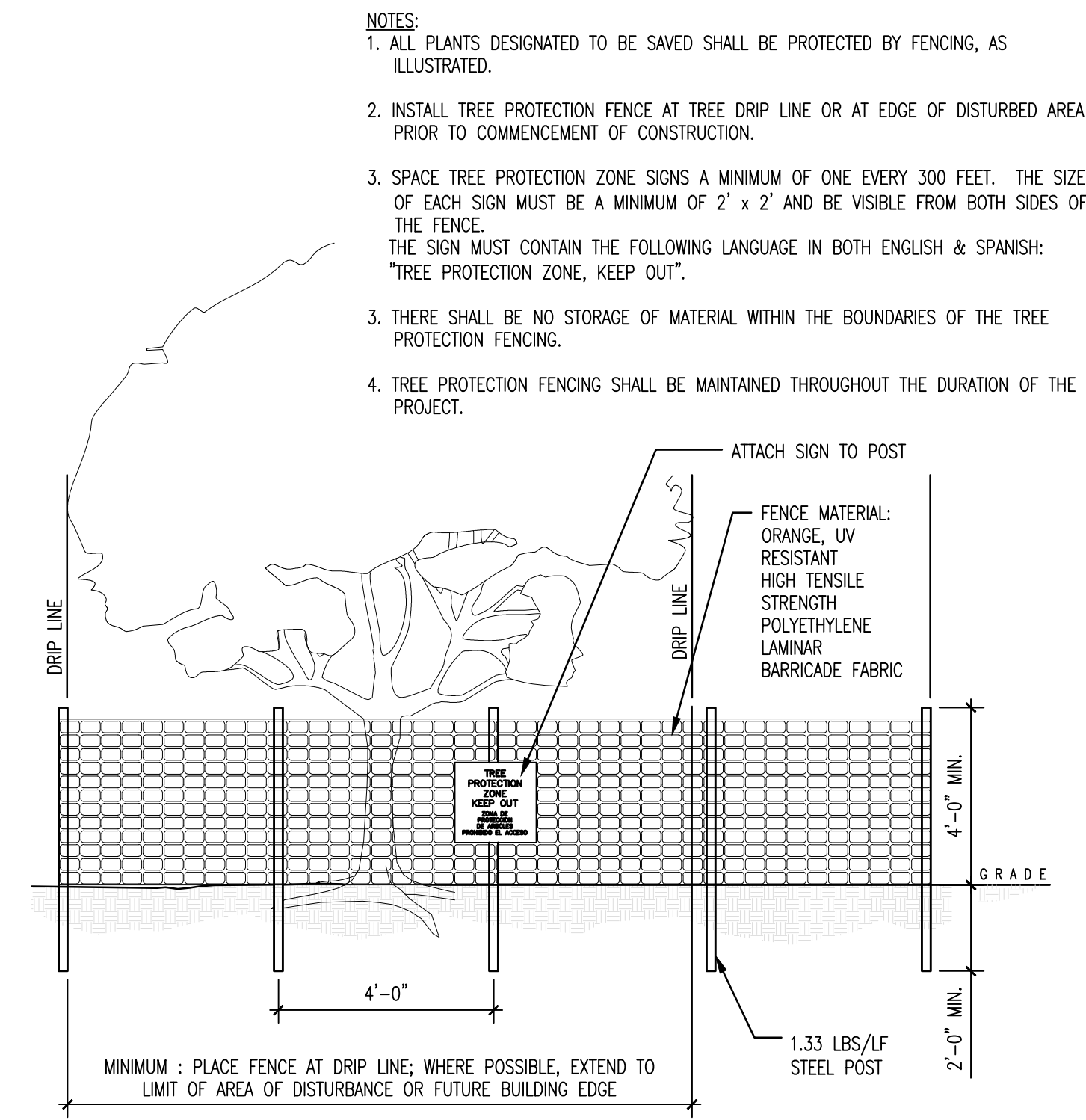
Sheet No.
L-1.1
Date 27 February, 2024
Project No. 21620

GENERAL NOTES

- ALL TREE REMOVAL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LOCAL CODES AND ORDINANCES.
- ALL ADDITIONAL REQUIREMENTS FOR TREE PROTECTION AND MITIGATION AS REQUIRED BY THE CITY ARBORIST AND THE PROJECT ARBORIST SHALL BE FOLLOWED. REFERENCE CITY PROJECT ARBORIST NOTES
- CONTRACTOR SHALL VISIT THE SITE WITH OWNER'S REPRESENTATIVES PRIOR TO BEGINNING ANY WORK. VERIFY ALL TREES, SHRUBS & VEGETATION WITHIN THE LIMITS OF WORK TO BE REMOVED AND ALL TREES & PLANTS TO REMAIN AND TO BE PROTECTED.
- ALL TREES AND PLANTS DESIGNATED TO REMAIN SHALL BE PROTECTED FROM PHYSICAL DAMAGE AND MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT. THOSE TREES AND PLANTS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING THE ROOTS, AND DISPOSED OF OFF-SITE. BACKFILL EXCAVATED AREAS TO RESTORE TO EXISTING GRADE.
- PROTECTIVE FENCING: TEMPORARY FENCES OR BARRICADES SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS OR AS DIRECTED IN THE FIELD BY THE PROJECT ARBORIST OR THE OWNER'S REPRESENTATIVE. FENCING SHALL BE A MINIMUM OF SIX (6) FOOT HEIGHT, CHAIN LINK, MAINTAIN FENCING IN CONTINUOUS, STABLE AND UPRIGHT CONDITION AT ALL TIMES.
- CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED FROM CONSTRUCTION AND DISPOSE OF IN A LAWFUL MANNER.

TREE PROTECTION NOTES

- PROTECTION OF EXISTING VEGETATION SHALL COMPLY WITH REQUIREMENTS UNDER SPECIFICATION SECTION 015639 - TEMPORARY TREE AND PLANT PROTECTION.
- PRIOR TO COMMENCING WORK, A TREE PROTECTION ZONE (TPZ) AREA SHALL BE DESIGNATED AND ESTABLISHED TO IDENTIFY THOSE AREA(S) THAT ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL OR DEMOLITION AND REQUIRE MANDATORY PROTECTION MEASURES. AREAS MAY INCLUDE THE BOUNDARY DELINEATED IN THE CONTRACT DRAWINGS AS THE DESIGNATED LIMITS OF WORK, ADJOINING AREAS THAT ARE IN CLOSE VICINITY (BY MEASUREMENT CALCULATION OF TREE DRIP LINE OR CANOPY SPREAD), VEHICULAR ACCESS AREAS LEADING TO THE CONSTRUCTION ZONE, LAY DOWN AREAS, OR OTHER AREAS IMPACTED BY CONSTRUCTION ACTIVITIES. TPZ AREA SHALL BE CONFIRMED BY THE OWNER'S AUTHORIZED REPRESENTATIVE, GOVERNING AGENCY REPRESENTATIVE, OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL BE FAMILIAR WITH THE GENERAL CONDITIONS OF THE CONTRACT FOR ANY DAMAGE TO LANDSCAPING OR OTHER AMENITIES THAT OCCUR WITHIN A TPZ AREA.
- AVOID EXCAVATION WITHIN A DESIGNATED TPZ AREA. ANY ROOT CUTTING NECESSARY AS A RESULT OF EXCAVATION WITHIN A DESIGNATED TPZ AREA SHALL BE CONFIRMED IN ADVANCE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE, GOVERNING AGENCY REPRESENTATIVE, OR LANDSCAPE ARCHITECT. EXCAVATION SHALL BE PERFORMED BY HAND, AND ROOT CUTTING SHALL BE MONITORED ACCORDINGLY BY A CERTIFIED ARBORIST. IF CONFIRMED, ALL NECESSARY ROOT PRUNING SHALL CONFORM TO ANSI A300 PRUNING STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MITIGATING CONSTRUCTION RELATED DUST ACCUMULATION ON ALL PROTECTED PLANT MATERIALS. APPLY WATER IN ADEQUATE QUANTITY AND VOLUME TO SPRAY DOWN TRUNKS, BRANCHES, AND FOLIAGE TO REMOVE DUST TO A HEIGHT OF THIRTY FEET (30'). APPLICATION SHALL OCCUR AT MONTHLY INTERVALS FROM APRIL THROUGH NOVEMBER.
- CONTRACTOR SHALL ADHERE TO REQUIREMENTS (INCLUDING BUT NOT LIMITED TO) FOR THE FOLLOWING WITHIN A TPZ AREA.
 - NO STOCKPILING OR STORAGE OF MATERIALS, DEBRIS, REFUSE, SPOILS, OR SOIL.
 - NO STORAGE OF CONSTRUCTION TOOLS, EQUIPMENT, OR MACHINERY.
 - NO ACCESS OR PARKING BY VEHICLES, OR ACCESS BY CONSTRUCTION PERSONNEL.
 - NO SOIL DISTURBANCE, INCLUDING EXCAVATION, COMPACTION, OR GRADE CHANGES.
 - NO CUTTING, BREAKING, OR SHINNING OF ROOTS CAUSED BY TRENCHING, DIGGING, OR OTHER EXCAVATION WITHOUT PRIOR CONFIRMATION AND ACCEPTANCE.
 - NO ATTACHMENTS OR ANCHORAGES OF ANY KIND TO TREE TRUNKS, BRANCHES, OR FOLIAGE, INCLUDING USE AS SUPPORT FOR FENCING, SIGNAGE, POWER, ETC., GUY WIRING, ROPES, OR SIMILAR FUNCTIONS.
 - NO DUMPING OF POISONOUS OR TOXIC MATERIALS, INCLUDING PAINT, PETROLEUM PRODUCTS, CHEMICALS, DIRTY OR NON-POTABLE WATER, OR OTHER DELETERIOUS MATERIALS.
 - NO EXCESSIVE HEAT OR WATER FROM EQUIPMENT.
 - MAINTAIN TPZ AREA IN A PEST, DISEASE, AND WEED-FREE CONDITION.
- CONDITIONAL TO COMMENCING WORK, INSTALL PROTECTIVE BARRICADE FENCING AT THE PERIMETER TPZ AREA(S) TO SAFEGUARD VEGETATION. REFER TO SPECIFICATION SECTION 015639 - TEMPORARY TREE & PLANT PROTECTION, FOR REQUIREMENTS OF FENCING MATERIALS (POSTS/STAKES AND FABRIC MESH), AND ASSOCIATED ATTACHED SIGNAGE. BARRICADE FENCING SHALL BE INSTALLED AND CONTINUOUSLY MAINTAINED IN A FIRM, TAUGHT, AND UPRIGHT CONDITION THROUGHOUT THE DURATION OF THE CONTRACT.
- NO WORK SHALL BE PERMITTED WITHIN A DESIGNATED TPZ AREA WITHOUT FIRST OBTAINING CONSENT, IN WRITING, FROM THE OWNER'S AUTHORIZED REPRESENTATIVE, GOVERNING AGENCY REPRESENTATIVE, OR LANDSCAPE ARCHITECT. ANY WORK AUTHORIZED WITHIN A DESIGNATED TPZ AREA MUST BE DONE IN ACCORDANCE AND UNDER OBSERVATION BY A MONITORING CERTIFIED ARBORIST.
- ENGAGEMENT OF A CONSULTING CERTIFIED ARBORIST, AS REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ALL ASSOCIATED COSTS SHALL BE INCLUDED IN THE CONTRACT BID.
- EXISTING IRRIGATION SYSTEM, AS APPLICABLE, SHALL BE KEPT IN FUNCTIONAL WORKING OPERATION TO PROVIDE NECESSARY WATER TO ALL PLANTS WITHIN A DESIGNATED TPZ AREA. WHERE CONDITIONS REQUIRE THE NEED TO TEMPORARILY SHUTDOWN AN EXISTING IRRIGATION SYSTEM, CONTRACTOR SHALL PROVIDE FOR HAND-WATERING TO ALL IMPACTED PLANTS. APPLY FRESH, POTABLE WATER AT REGULAR INTERVALS AND IN SUFFICIENT QUANTITY AND APPLICATION RATE TO MAINTAIN HEALTH AND VIGOR OF PROTECTED PLANT MATERIAL THROUGHOUT THE DURATION OF THE CONTRACT. TREES SHALL BE IRRIGATED DEEPLY AND AT A FREQUENCY SO THAT ADEQUATE SOIL MOISTURE IS DETECTED WITH A SOIL PROBE AT A MINIMUM EIGHTEEN INCH (18") DEPTH.
- CONDITIONAL TO RECEIVING FINAL ACCEPTANCE, CONTRACTOR SHALL REMOVE ALL TPZ AREA MATERIALS THAT WERE INSTALLED DURING THE CONSTRUCTION PERIOD.
- FAILURE BY THE CONTRACTOR TO ADHERE TO THE REQUIREMENTS SPECIFIED FOR TREE AND PLANT PROTECTION WITHIN A DESIGNATED TPZ AREA MAY RESULT IN THE SUSPENSION OF CONSTRUCTION ACTIVITIES AS NOTIFIED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. ASSOCIATED COSTS INCURRED DUE TO CONSTRUCTION DELAYS FOR NON-COMPLIANCE SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND ADEQUATE COMPENSATION TO OWNER FROM CONTRACTOR'S NON-COMPLIANCE IN FAILING TO ADEQUATELY PROTECT OR FROM RESULTING CONSEQUENTIAL DAMAGE TO PLANTS WITHIN A DESIGNATED TPZ AREA. DIMINISHED VALUE OR COSTS TO REMOVE AND REPLACE TREES OR PLANTS IN KIND THAT HAVE BEEN IMPAIRED THROUGH CONSTRUCTION ACTIVITY SHALL BE COMPENSATED TO THE OWNER, AS DETERMINED BY THIRD PARTY REVIEW. CHOICE OF RECEIVING EITHER MONETARY COMPENSATION OR DIRECTING REMOVAL AND REPLACEMENT IN KIND SHALL BE MADE BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



2 TREE PROTECTION FENCE
SCALE: 3/4"=1'-0"

CONDITION	SITE TREES				REPLACEMENT TREES				
	NAME	SPECIES	TRUNK DIAMETER (IN)	PRESERVED (Y/N)	PROTECTED TREE TO BE REMOVED	NEW SPECIES	SIZE	QTY	
3	860	OLEANDER	9	N	860	KINDRED SPIRIT OAK	24" BOX	1	
	861	OLEANDER	8	N	861	KINDRED SPIRIT OAK	24" BOX	1	
	863	OLEANDER	7	N/A					
	870	CALIFORNIA BLACK WALNUT	14	N	870	KINDRED SPIRIT OAK	24" BOX	1	
	871	DECODAR CEDAR	36	Y					
	872	ENGLISH WALNUT	8	Y					
	873	BOXELDER	8	Y					
	874	DECODAR CEDAR	40	Y					
	875	AVOCADO	14	Y					
	876	JAPANESE MAPLE	9, 6, 5	N	876	KINDRED SPIRIT OAK	24" BOX	1	
4	877	JAPANESE MAPLE	7, 4, 4, 4, 4, 4	N	877	BLUE OAK	24" BOX	1	
	878	COAST REDWOOD	35	Y					
	879	SAUCER MAGNOLIA	15, 10	N	879	BLUE OAK	24" BOX	1	
	880	ORANGE	14	N	880	KINDRED SPIRIT OAK	24" BOX	1	
3	881	AVOCADO	26	N	881	BLUE OAK	24" BOX	1	
3	882	BLACKWOOD ACACIA	21	N	882	BLUE OAK	24" BOX	1	
3	883	BLACKWOOD ACACIA	16	N	883	BLUE OAK	24" BOX	1	
1	885	GLOSSY PRIVET	15	N	885	BLUE OAK	24" BOX	1	
1	886	AUSTRALIAN BUSH CHERRY	7, 6, 5, 5	N	886	BLUE OAK	24" BOX	1	
	887	AUSTRALIAN BUSH CHERRY	14	N	887	BLUE OAK	24" BOX	2	
	888	AUSTRALIAN BUSH CHERRY	14	N	888	BLUE OAK	24" BOX	2	
	890	AUSTRALIAN BUSH CHERRY	7	N	890	BLUE OAK	24" BOX	1	
	891	WEeping BOTTLE BRUSH	14, 6	N	891	BLUE OAK	24" BOX	2	
	896	ENGLISH WALNUT	17	N	896	BLUE OAK	24" BOX	2	
	897	ORANGE	7	Y					
	0	899	CHERRY	13	N	899	KINDRED SPIRIT OAK	24" BOX	2
	3	900	ENGLISH WALNUT	17	N	900	KINDRED SPIRIT OAK	24" BOX	2
	4	901	ORANGE	7	N/A				
3	902	CHINESE ELM	24	N	902	BLUE OAK	24" BOX	2	
	903	CHINESE ELM	26	N	903	BLUE OAK	24" BOX	2	
	904	MONTEREY PINE	34	N	904	BLUE OAK	24" BOX	2	
	905	RAYWOOD ASH	7	N	905	BLUE OAK	24" BOX	1	
	907	RAYWOOD ASH	10, 12	N	907	BLUE OAK	24" BOX	2	
	908	RAYWOOD ASH	11	N	908	BLUE OAK	24" BOX	2	
	910	RAYWOOD ASH	9	N	910	BLUE OAK	24" BOX	2	
	911	RAYWOOD ASH	10	N	911	BLUE OAK	24" BOX	2	
	2	912	PLUM	30	N	912	KINDRED SPIRIT OAK	24" BOX	2
	1	913	BOXELDER	20	N	913	KINDRED SPIRIT OAK	24" BOX	2
3	914	BOXELDER	20	Y					
	916	TULIP TREE	24	Y					
	917	COAST LIVE OAK	17	N	917	BLUE OAK	24" BOX	2	
3	920	ITALIAN CYPRESS	14	Y					
	921	ITALIAN CYPRESS	11	Y					
	922	ITALIAN CYPRESS	12	Y					
	923	PLUM	12, 8	Y					
	2	924	APPLE	15	N	924	KINDRED SPIRIT OAK	24" BOX	2
3	926	PLUM	13	N	926	KINDRED SPIRIT OAK	24" BOX	2	
	928	CABBAGE PALM	11, 9	N	928	BLUE OAK	24" BOX	2	
	929	RIVER RED GUM	32	N	929	BLUE OAK	24" BOX	2	
	931	SILVER DOLLAR GUM	21	N	931	BLUE OAK	24" BOX	2	
	932	RIVER RED GUM	36	N	932	BLUE OAK	24" BOX	2	
	937	RIVER RED GUM	24	N	937	BLUE OAK	24" BOX	2	
	4	938	CABBAGE PALM	50	N	938	BLUE OAK	24" BOX	2
	3	939	SOUTHERN MAGNOLIA	30	N	939	BLUE OAK	24" BOX	2
	3	940	COAST LIVE OAK	27	N	940	BLUE OAK	24" BOX	2
	4	941	COAST LIVE OAK	26	Y				
3	942	SOUTHERN MAGNOLIA	26	Y					
	4	943	SOUTHERN MAGNOLIA	23	N	943	BLUE OAK	24" BOX	2
3	944	COAST REDWOOD	30	Y					
3	947	VICTORIAN BOX	17, 15	N	947	KINDRED SPIRIT OAK	24" BOX	2	
2	948	PLUM	15	N	948	KINDRED SPIRIT OAK	24" BOX	2	
TOTAL PROTECTED TREES REMOVED					43	TOTAL TREES REQUIRED REPLACED			43
						TOTAL TREES PLANTED FOR REPLACEMENT			72

*REPLACEMENT TREES WILL BE BLUE OAK, KINDRED SPIRIT OAK OR ANOTHER APPROPRIATE APPROVED NATIVE TREE, MINIMUM 24" BOX SIZE.

3 TREE PROTECTION AND REMOVALS NOTES

1 PROTECTED TREE AND REPLACEMENT TREE LISTS



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700



HOOD DESIGN STUDIO, Inc.
3816 15th Street
Studio 2
Oakland, CA 94608
415.763.0000
www.hooddesignstudio.com

Issuances	
Description	Date

Revisions		
Rev.	Description	Date

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Design Update - February 2024

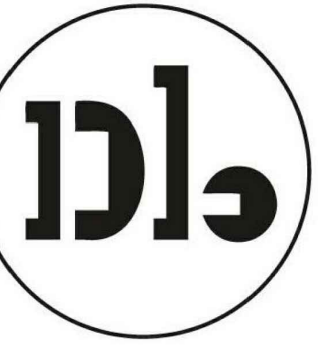
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Tree Protection and Removals List and Notes

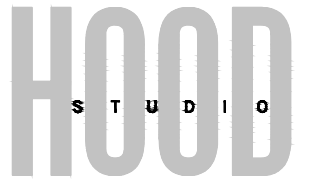
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T-0.1

Woodland Park Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700



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3001 FLORIST AVE
SUITE 2
OAKLAND, CA 94608
510.345.9888
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LEGEND:

- #000 PROTECTED TREE TO BE PRESERVED
- #000 PROTECTED TREE TO BE REMOVED
- #000 ADDITIONAL PROTECTED TREE TO BE REMOVED
- NEW REPLACEMENT TREE
- TREE QUANTITY IN AREA
- TREE SPECIES KEY, REFER TO PLANT LIST FOR TREE SPECIES

- NOTES:**
- FOR LANDSCAPE MATERIALS, REFER TO SITE PLAN.
 - FOR FULL PLANT LIST, REFER TO LANDSCAPE SCHEDULES.
 - FOR TREE PRESERVATION LIST, REFER TO TREE PROTECTION AND REMOVALS LIST.

PLANT LIST

TREES	
KEY	COMMON NAME
FRAM	WHITE ASH
ARMA	MARINA STRAWBERRY TREE
QUDO	BLUE OAK
PIXR	RED PISH PISTACHE
QUKI	KINDRED SPIRIT OAK
PAPE	IRONWOOD

*REPLACEMENT TREES WILL BE BLUE OAK, KINDERED SPIRIT OAK OR ANOTHER APPROPRIATE APPROVED NATIVE TREE. MINIMUM 24" BOX SIZE.

Issuances	
Description	Date

Revisions		
Rev.	Description	Date

Set Title
**Entitlements
Application**
Drawing Title
**Tree Protection
& Removal Plan**

Sheet No.
T-1.1

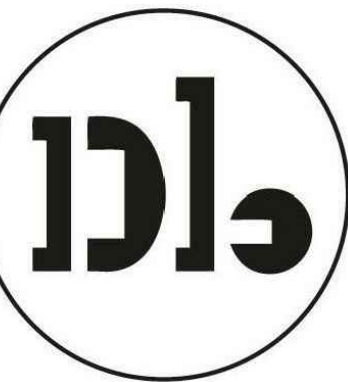
Date 27 February, 2024
Project No. 21620



BLOCK A:
(12) PROTECTED TREES REMOVED
(14) NEW TREES PLANTED ON PUBLIC R.O.W.

BLOCK B:
(23) PROTECTED TREES REMOVED
(58) NEW TREES PLANTED ON PUBLIC R.O.W.

1 TREE PROTECTION AND REMOVALS (TPR) PLAN
SCALE: 1" = 30'



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700



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LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- W — (E)WATER LINE
- SS — (E)SANITARY SEWER LINE
- SD — (E)STORM DRAIN LINE
- CB (E)CATCH BASIN
- HYD (E)FIRE HYDRANT
- MH (E)MANHOLE

ABBREVIATIONS:

- (B) BOUNDARY
- (E) EXISTING
- (T) TOTAL
- TYP TYPICAL
- CB CATCH BASIN
- FH, HYD FIRE HYDRANT
- MH MANHOLE
- MISC MISCELLANEOUS
- W WATER
- SS SANITARY SEWER

BASIS OF BEARING:

THE BEARING NORTH 88°27'00" EAST OF THE NORTHERLY LINE OF WEEKS STREET AS SAID BEARING IS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON SEPTEMBER 6, 1995 IN BOOK 16 OF L.L.S. MAPS AT PAGE 25, RECORDS OF SAN MATEO COUNTY, WAS HELD AS THE BASIS OF BEARINGS OF THIS SURVEY.

BENCHMARK:

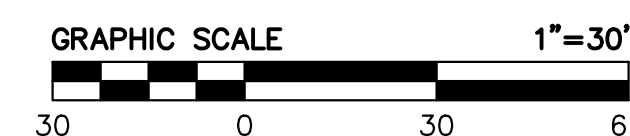
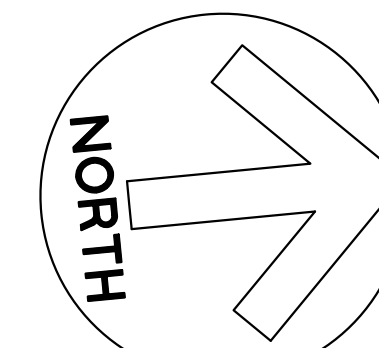
CITY OF EAST PALO ALTO BENCHMARK: BM-5

DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN LANDSCAPING AT SOUTH EDGE OF NEWBRIDGE STREET SIDEWALK NEAR INTERSECTION WITH BAY ROAD AND 100' WESTERLY OF BUS STOP.

ELEVATION = 16.81 FEET, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

NOTES:

- EXISTING CONDITIONS OBTAINED FROM AERIAL SURVEY DATED 11/09/2016.
- FEMA FLOOD HAZARD INFORMATION: FLOOD ZONE X, AREAS OF MINIMAL FLOOD HAZARD, PER MAP NUMBER 06081C0309F, PANEL 309 OF 510, DATED APRIL 5, 2019.
- PROPERTY LINES ARE SHOWN FOR REFERENCE AND ARE NOT RESOLVED.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
- SEE LANDSCAPING TREE DISPOSITION PLAN FOR ALL EXISTING TREES TO BE REMOVED OR TO REMAIN.



DRAWING NAME: K:\2016\166089_Woodland_Park\ENG\EUCLID\PLANNING\SHEETS\C1-E1-EXCON.dwg
PLOT DATE: 04-18-24
PLOTTED BY: hers



Issuances	
Description	Date
Design Update	02/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

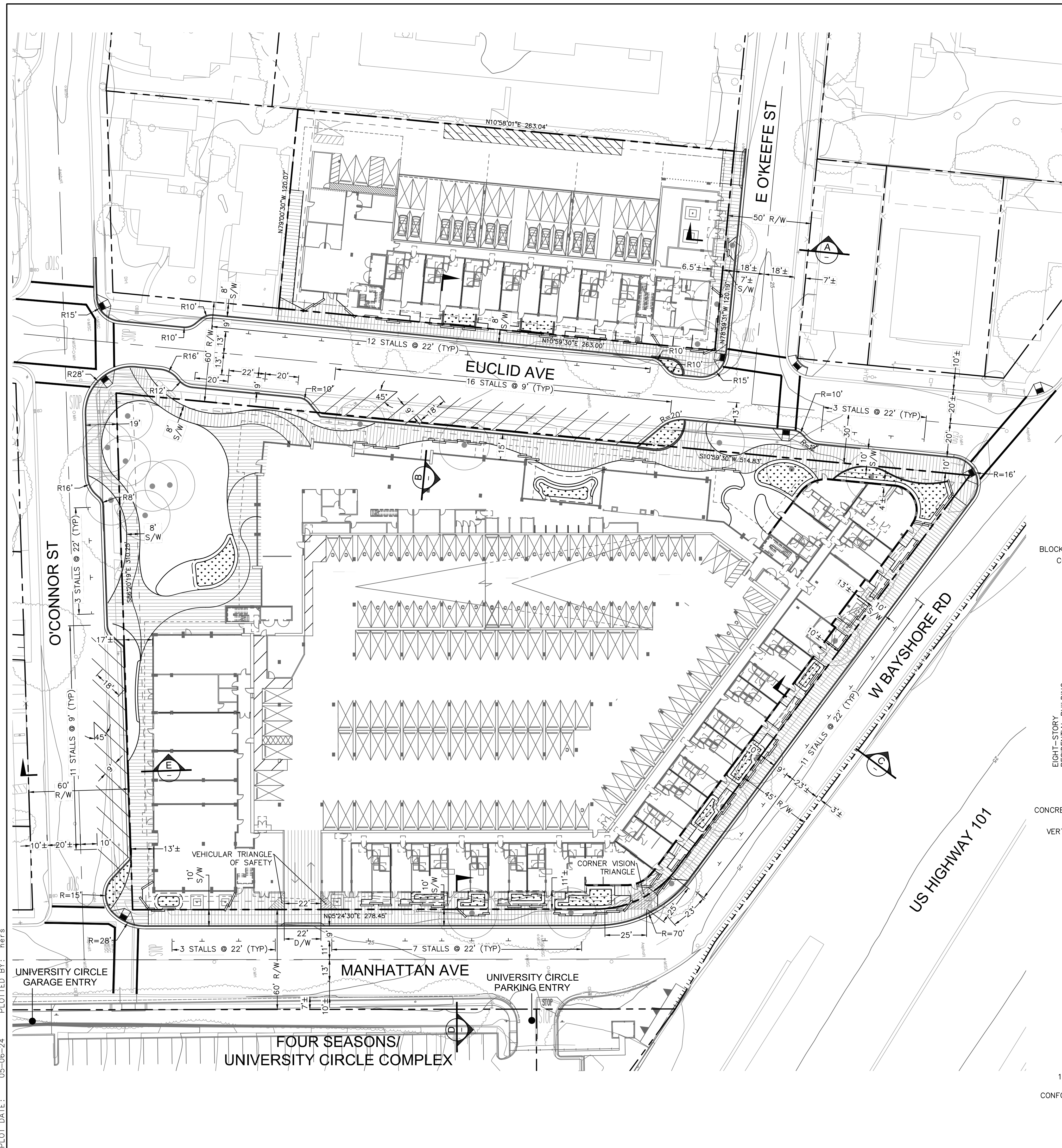
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Design Update -
April 2024

Drawing Title
**EXISTING
CONDITIONS AND
DEMOLITION PLAN**

Sheet No.
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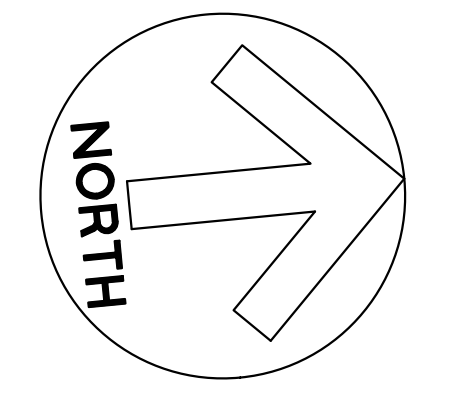
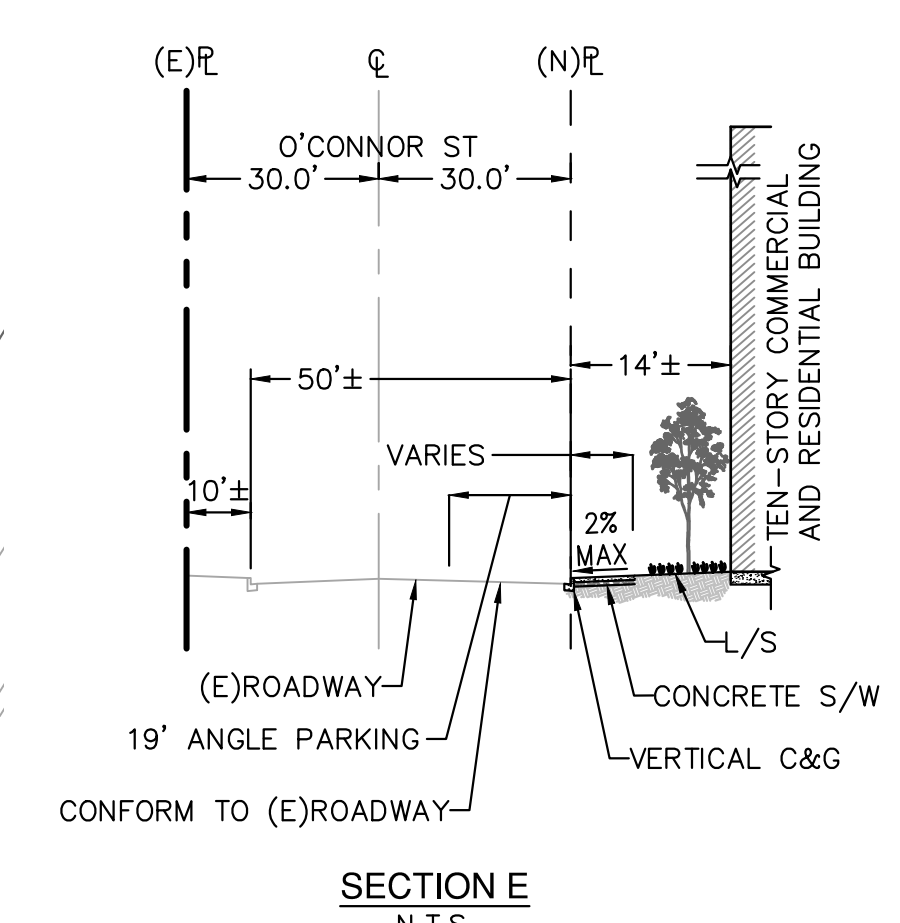
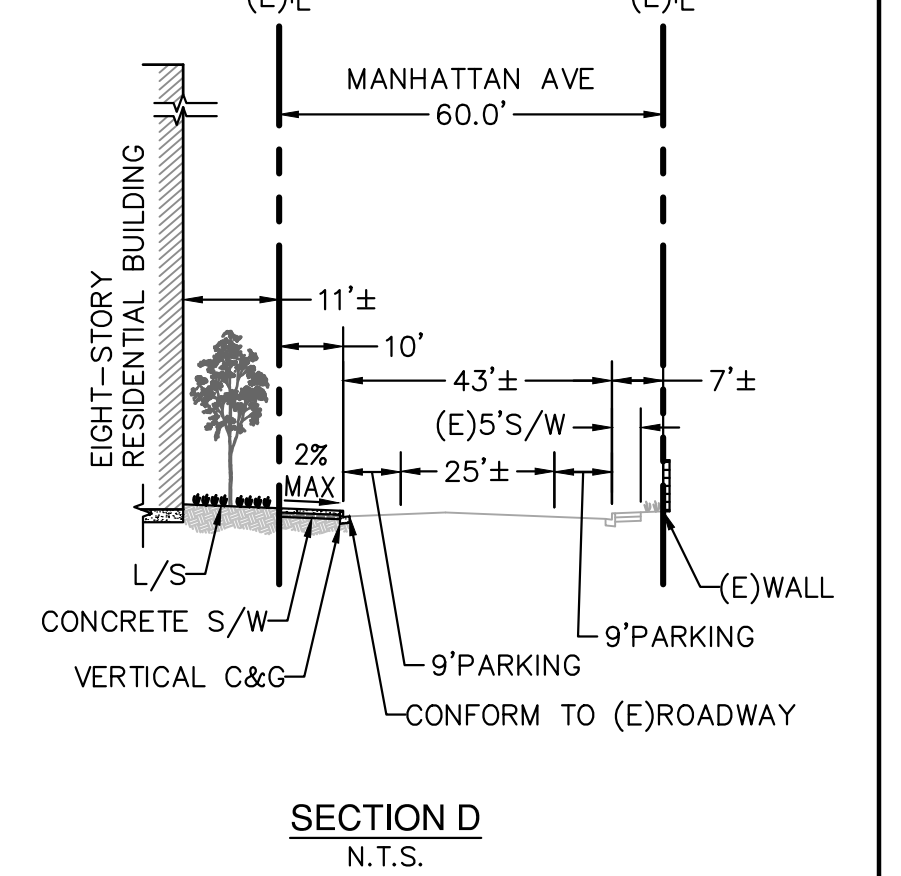
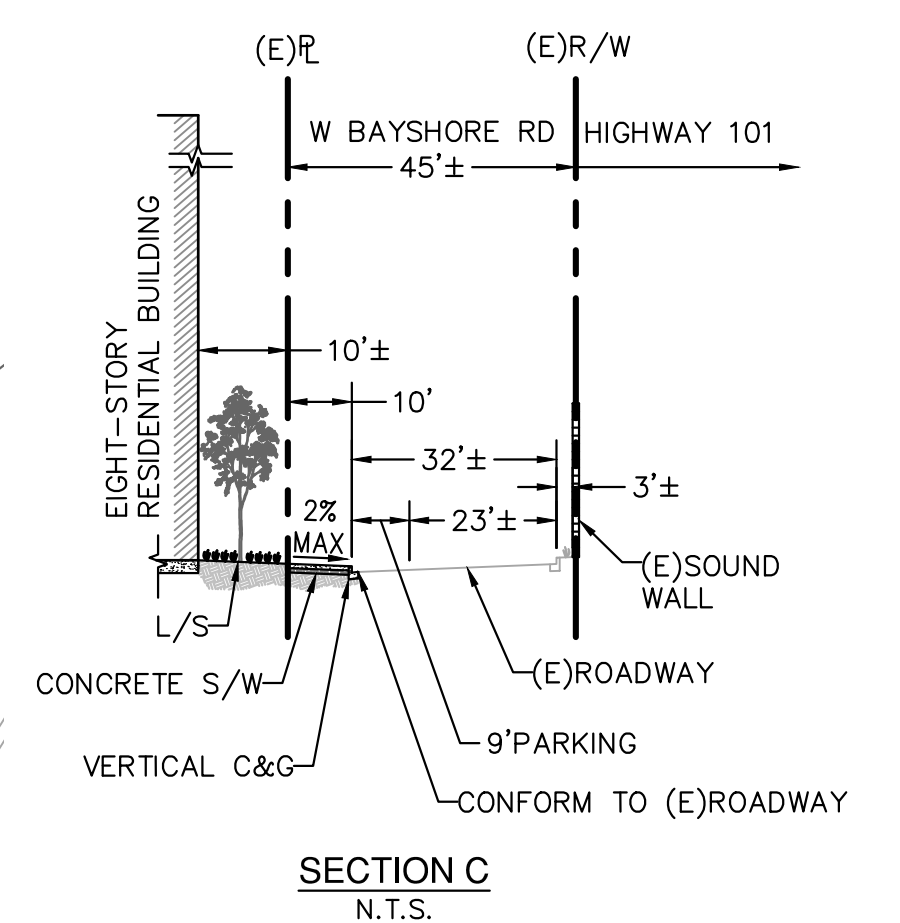
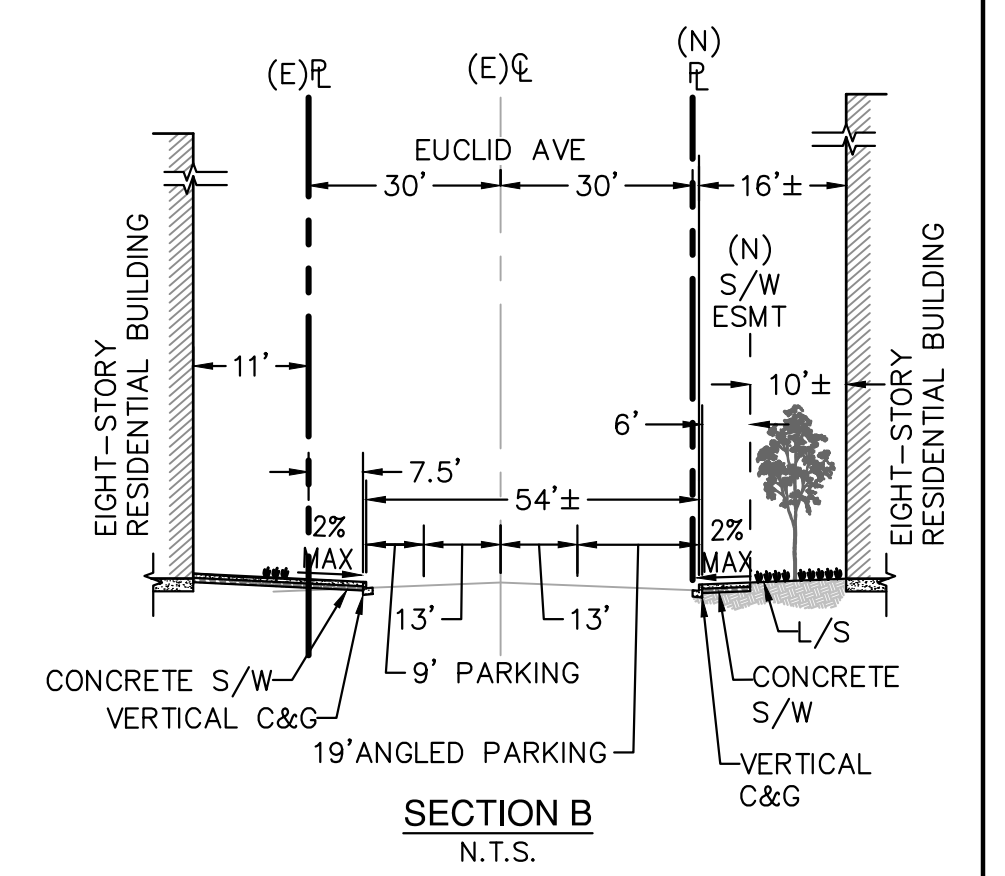
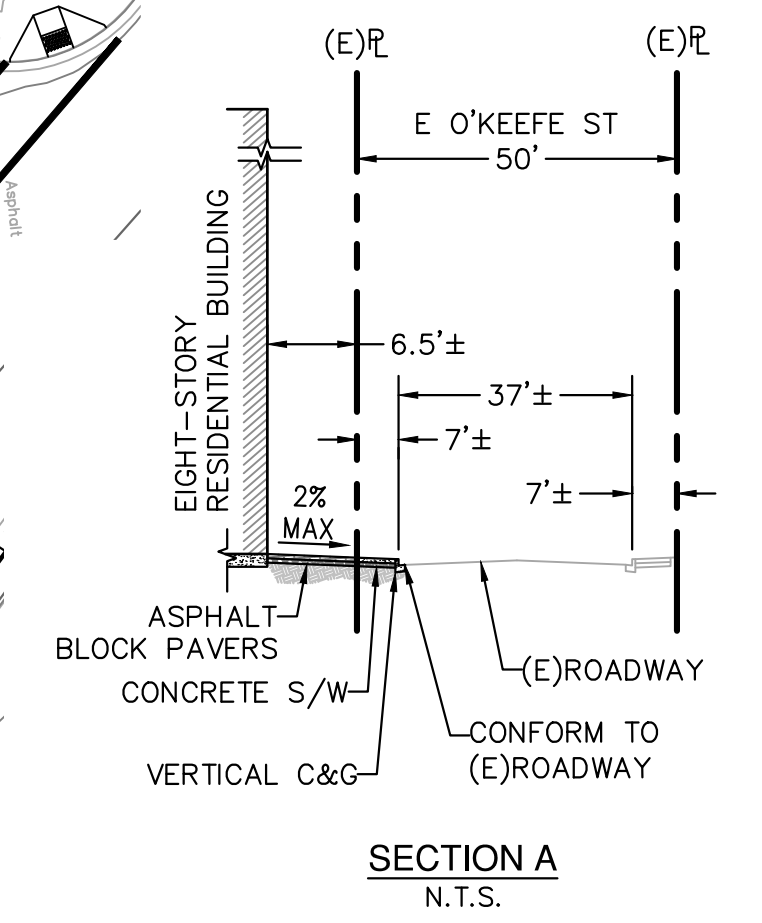
Date: 04/19/2024
Project No.: 20166089-20

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PLOT DATE: 05-06-24
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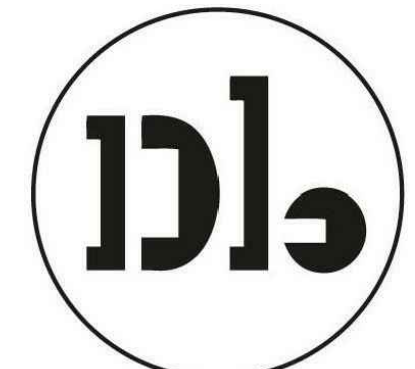
- ABBREVIATIONS:**
- C&G CURB AND GUTTER
 - D/W DRIVEWAY
 - E EAST
 - (E) EXISTING
 - L/S LANDSCAPING
 - NTS NOT TO SCALE
 - PL PROPERTY LINE
 - R/W RIGHT OF WAY
 - SLP SEE LANDSCAPE PLANS
 - S/W SIDEWALK
 - W WEST

- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - - - EASEMENT
 - ▨ CONCRETE (SLP)
 - ▩ PAVERS (SLP)
 - ▤ BIORETENTION
 - ▧ GRAVEL (SLP)

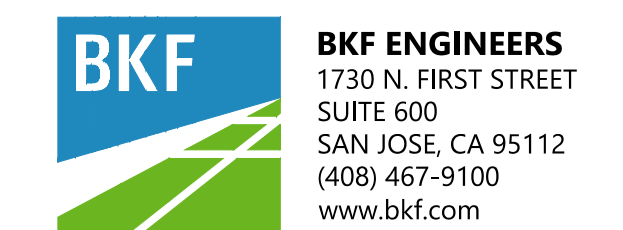


Woodland Park

Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700



BKF ENGINEERS
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SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
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Description	Date
Design Update	02/27/2024

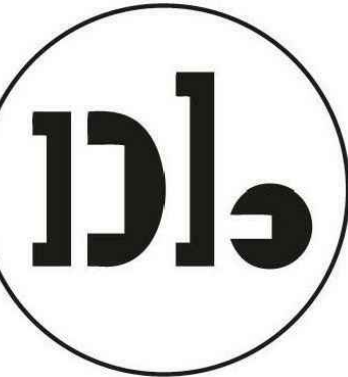
Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title
Design Update - April 2024

Drawing Title
PRELIMINARY SITE PLAN

Sheet No.
C2.0

Date: 04/19/2024
Project No.: 20166089-20



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700



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Issuances

Table with 2 columns: Description, Date. Row 1: Design Update, 02/27/2024

Revisions

Table with 3 columns: Rev., Description, Date. Row 1: 1, Response to Comments, 4/19/2024

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Design Update - April 2024

Drawing Title

PRELIMINARY GRADING AND DRAINAGE PLAN

Sheet No.

C3.0

Date: 04/19/2024
Project No.: 20166089-20

LEGEND:

- GRADE BREAK
SLOPE
SPOT ELEVATION
SPOT ELEVATION, CONFORM TO EXISTING
SD JUNCTION BOX
SD OVERFLOW DRAIN
BIORETENTION AREA
PROPERTY LINE
ADJACENT PROPERTY LINE
ROAD CENTERLINE
EASEMENT

ABBREVIATIONS:

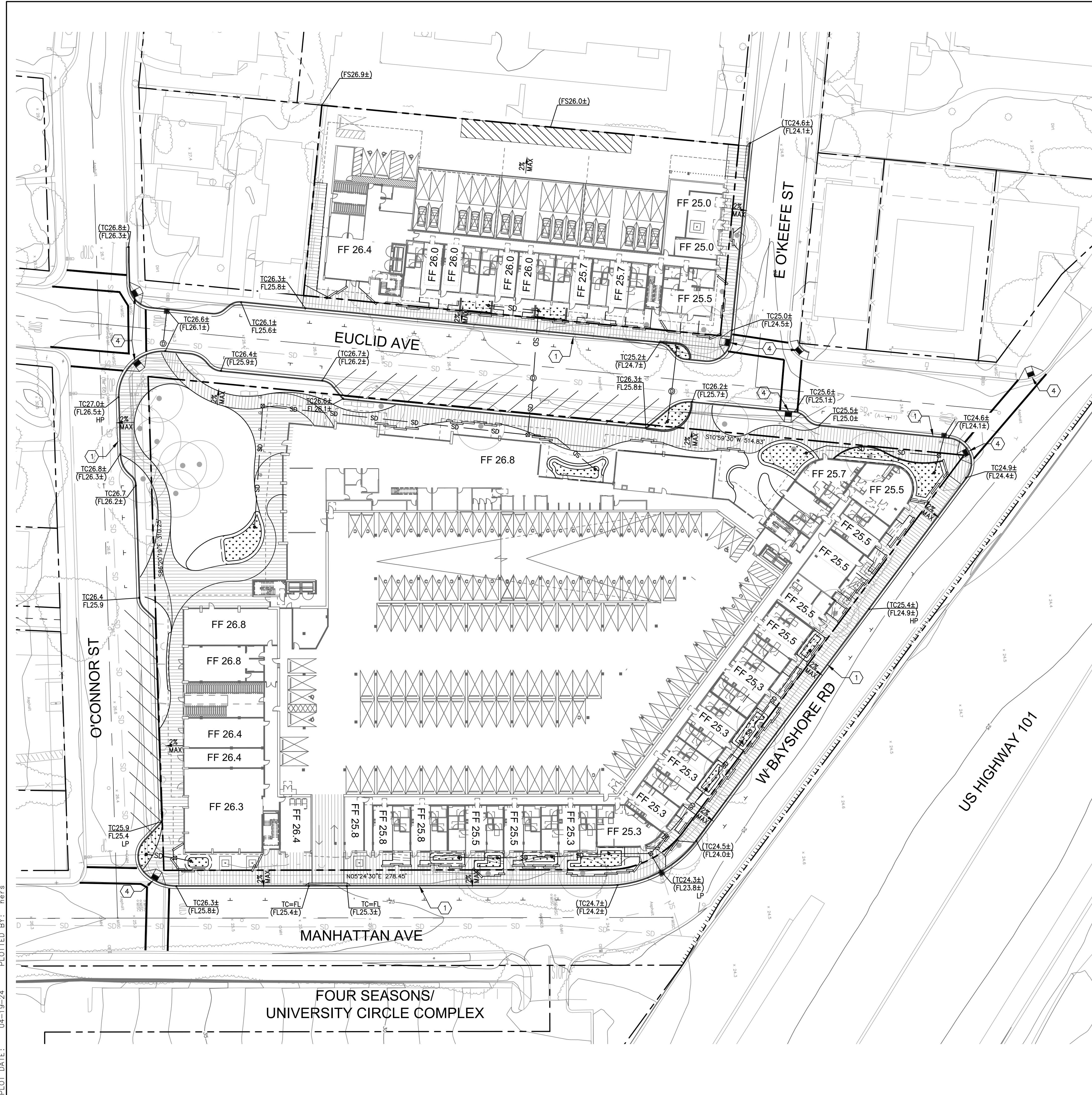
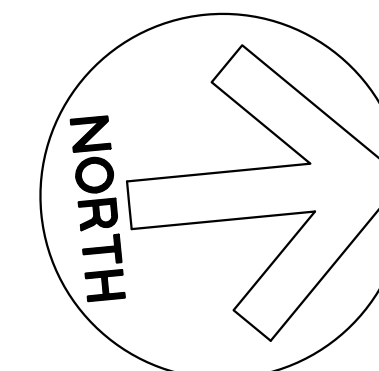
- ADA AMERICANS WITH DISABILITIES ACT
BLDG BUILDING
BW BACK OF SIDEWALK
EX EXISTING
FF FINISHED FLOOR
FG FINISHED GRADE
FL FLOWLINE
FS FINISHED SURFACE
HP HIGH POINT
LP LOW POINT
MA MATCH
MAX MAXIMUM
MIN MINIMUM
FL PAVEMENT
TC TOP OF CURB

GRADING NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL EXTERIOR DOORWAYS AND ACCESSIBLE PATHS OF TRAVEL SHALL BE ADA COMPLIANT.
2. SLOPES ALONG ACCESSIBLE PATHS OF TRAVEL SHALL NOT EXCEED A RUNNING SLOPE OF 1:20 OR A CROSS SLOPE OF 1:48. ACCESSIBLE WALKS AND SIDEWALKS SHALL BE 48" WIDE, MINIMUM. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.
3. CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO PERFORM CORRECTIVE GRADING AT NO EXTRA COST TO THE OWNER.
4. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
5. LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 8" BELOW WOOD FRAMING AND SHEATHING THAT IS NOT NATURALLY DURABLE OR PRESERVATIVE-TREATED.
6. LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 5% FOR THE FIRST 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALE USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.
7. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
8. UNDERGROUND SERVICE ALERT (USA) SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
9. ANY LAND DISTURBING ACTIVITIES OCCURRING BETWEEN OCTOBER 1ST AND APRIL 30TH ARE RESTRICTED BY THE CITY. A DETAILED EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED FOR ACTIVITIES OCCURRING DURING THIS PERIOD AND APPROVAL IN WRITING BY THE CITY ENGINEER.
10. GRADING ACTIVITIES AND ASSOCIATED NOISE SHALL BE LIMITED TO WEEK DAYS BETWEEN THE HOURS OF 8AM TO 5PM. NO GRADING ACTIVITIES ARE TO OCCUR ON SATURDAYS AND SUNDAYS, WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
11. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
12. PER THE GEOTECHNICAL FEASIBILITY STUDY PREPARED BY GEOSPHERE CONSULTANTS, INC, DATED DECEMBER 27, 2017: THE HISTORICAL HIGH GROUNDWATER DEPTH IS ESTIMATED TO BE ON THE ORDER OF 13 FEET AT THE PROJECT SITE. DURING SITE INVESTIGATIONS, GROUNDWATER WAS ENCOUNTERED AT DEPTHS OF 15 TO 16 FEET BELOW EXISTING SURFACE (APPROXIMATE ELEVATION OF 7-10 FEET).

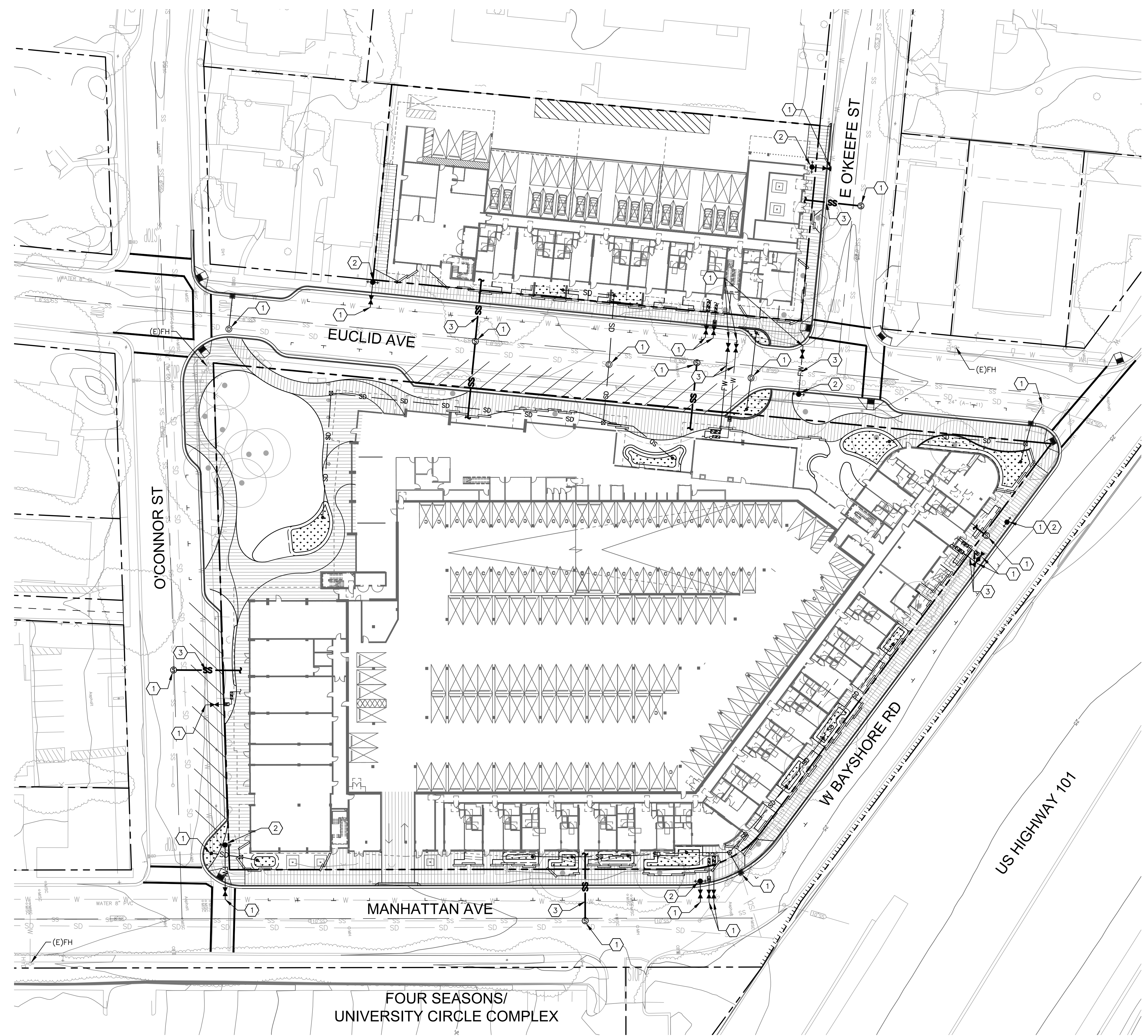
KEY NOTES:

- 1 NEW VERTICAL CURB AND GUTTER
2 NEW VERTICAL CURB
3 NEW VALLEY GUTTER
4 NEW CURB RAMP



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PLOT DATE: 04-19-24
PLOTTED BY: hers

DRAWING NAME: K:\2016\166089_Woodland_Park\ENGS\EUCLID\PLANNING\SHETS\C4-E I-UTIL.dwg
PLOT DATE: 04-19-24
PLOTTED BY: hers



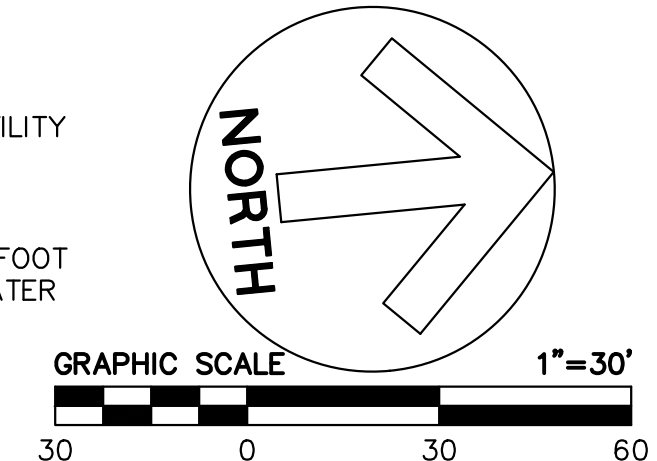
FOUR SEASONS/
UNIVERSITY CIRCLE COMPLEX

- LEGEND:**
- SS — SANITARY SEWER LINE
 - ⊙ SANITARY SEWER MANHOLE
 - SD — STORM DRAIN LINE
 - - - SD PERFORATED PIPE
 - SD CATCH BASIN
 - ⊗ SD JUNCTION BOX
 - SD OVERFLOW DRAIN
 - ⊙ STORM DRAIN MANHOLE
 - W — DOMESTIC WATER LINE
 - FW — FIRE WATER LINE, SEE NOTE 6
 - ⊗ B BACKFLOW PREVENTER
 - ⊗ WATER METER
 - ⊗ WATER VALVE
 - ⊗ FIRE HYDRANT
 - ⊗ BIORETENTION AREA

- ABBREVIATIONS:**
- BFP BACKFLOW PREVENTOR
 - CB CATCH BASIN
 - EX(E) EXISTING
 - FW FIRE WATER
 - HYD,FH FIRE HYDRANT
 - MH MANHOLE
 - PVC POLYVINYL CHLORIDE
 - SD STORM DRAIN
 - SDCO STORM DRAIN CLEANOUT
 - SDMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SDMH SANITARY SEWER MANHOLE
 - W WATER
 - WM WATER METER

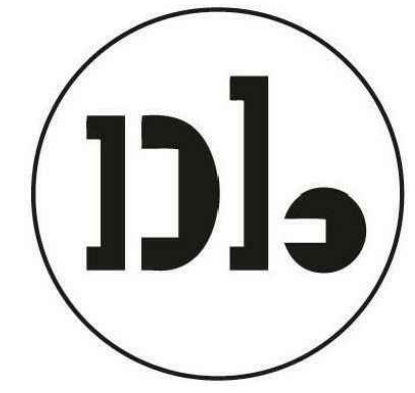
- UTILITY NOTES:**
1. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
 2. NO EXISTING UTILITY SERVICES WILL BE REUSED. ALL EXISTING SERVICES WILL BE REMOVED TO THE PROPERTY LINE AND ABANDONED OR REMOVED PER CITY STANDARDS.
 3. ALL WORK DONE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER SEPARATE PERMIT.
 4. SEE JOINT TRENCH PLANS FOR ALL DRY UTILITIES AND JOINT TRENCH INFORMATION.
 5. SEE MEP PLANS FOR CONTINUATION AT BUILDING POINT OF CONNECTION.
 6. NEW FIRE WATER SERVICE FOR REFERENCE ONLY. FINAL DESIGN BY FIRE PROTECTION ENGINEER.
 7. CONTRACTOR TO VERIFY ALL (E)UTILITY TIE-IN LOCATIONS AND CROSSINGS BY POT-HOLING PRIOR TO INSTALLATION.
 8. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
 9. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES AND 1 FOOT VERTICAL WATER ABOVE SEWER WHERE LINES CROSS. WATER AND SEWER LINES SHALL NOT CROSS AT LESS THAN 45 DEGREES TO EACH OTHER.
 10. UTILITY TRENCHES SHALL USE TRENCH SAND AROUND ALL UTILITIES CONFORMING TO APPROPRIATE STANDARDS SUCH AS PG&E, CALIFORNIA AMERICAN WATER COMPANY STANDARDS, AND SAN MATEO COUNTY PUBLIC WORKS STANDARDS.
 11. THE CITY OF EAST PALO ALTO ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OR CONNECTION FOR INSPECTION OF ANY UTILITIES CONNECTING TO MUNICIPAL FACILITIES.
 12. EAST PALO ALTO SANITARY DISTRICT SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OF CONNECTION FOR INSPECTION OF SEWER LINES AND CONNECTIONS. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 13. PACIFIC GAS & ELECTRIC, COMCAST, AT&T, AND ALL OTHER APPROPRIATE UTILITIES COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO INSTALLATION TO SCHEDULE ANY REQUIRED INSPECTIONS, OR AS REQUIRED BY SAID UTILITIES. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 14. ALL EXISTING WATER MAINS SHALL BE REPAIRED AND TESTED TO THE SATISFACTION OF AMERICAN WATER ENTERPRISES AND THE CITY ENGINEER.
 15. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO EAST PALO ALTO SUBDIVISION REGULATIONS, SAN MATEO COUNTY STANDARD DETAILS FOR PUBLIC WORKS, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS, GREEN BOOK STANDARD SPECIFICATIONS, AMERICAN WATER COMPANY CODE, EAST PALO ALTO SANITARY DISTRICT SEWER CODE, FIRE CODE, AND OTHER APPLICABLE UTILITY STANDARDS WITHIN THEIR RESPECTIVE JURISDICTIONS.

- KEY NOTES:**
- ① CONNECT TO EXISTING UTILITY
 - ② NEW FIRE HYDRANT
 - ③ MAINTAIN MINIMUM OF 1 FOOT SEPARATION BETWEEN WATER OVER SEWER

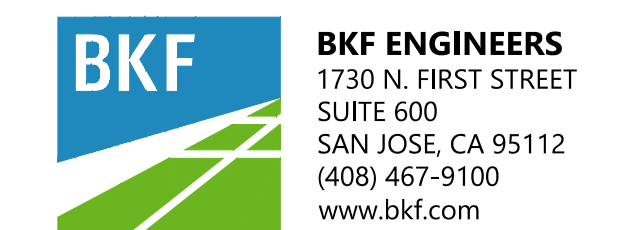


Woodland Park

Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700



BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

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Issuances	
Description	Date
Design Update	02/27/2024

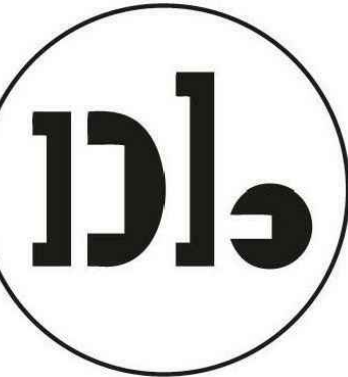
Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

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Design Update - April 2024

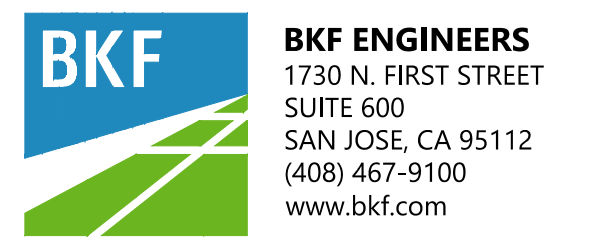
Drawing Title
PRELIMINARY UTILITY PLAN

Sheet No.
C4.0

Date: 04/19/2024
Project No.: 20166089-20



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 dbarchitect.com
 461 Second St, Loft c127
 San Francisco, CA 94107
 415.896.6700



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Issuances	
Description	Date
Design Update	02/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024
2	Response to Comments	6/4/2024

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**Design Update -
 April 2024**

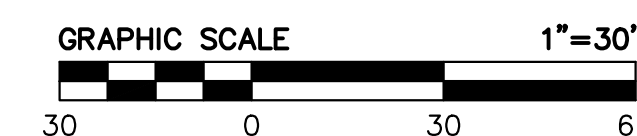
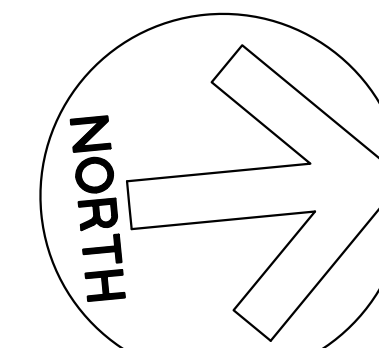
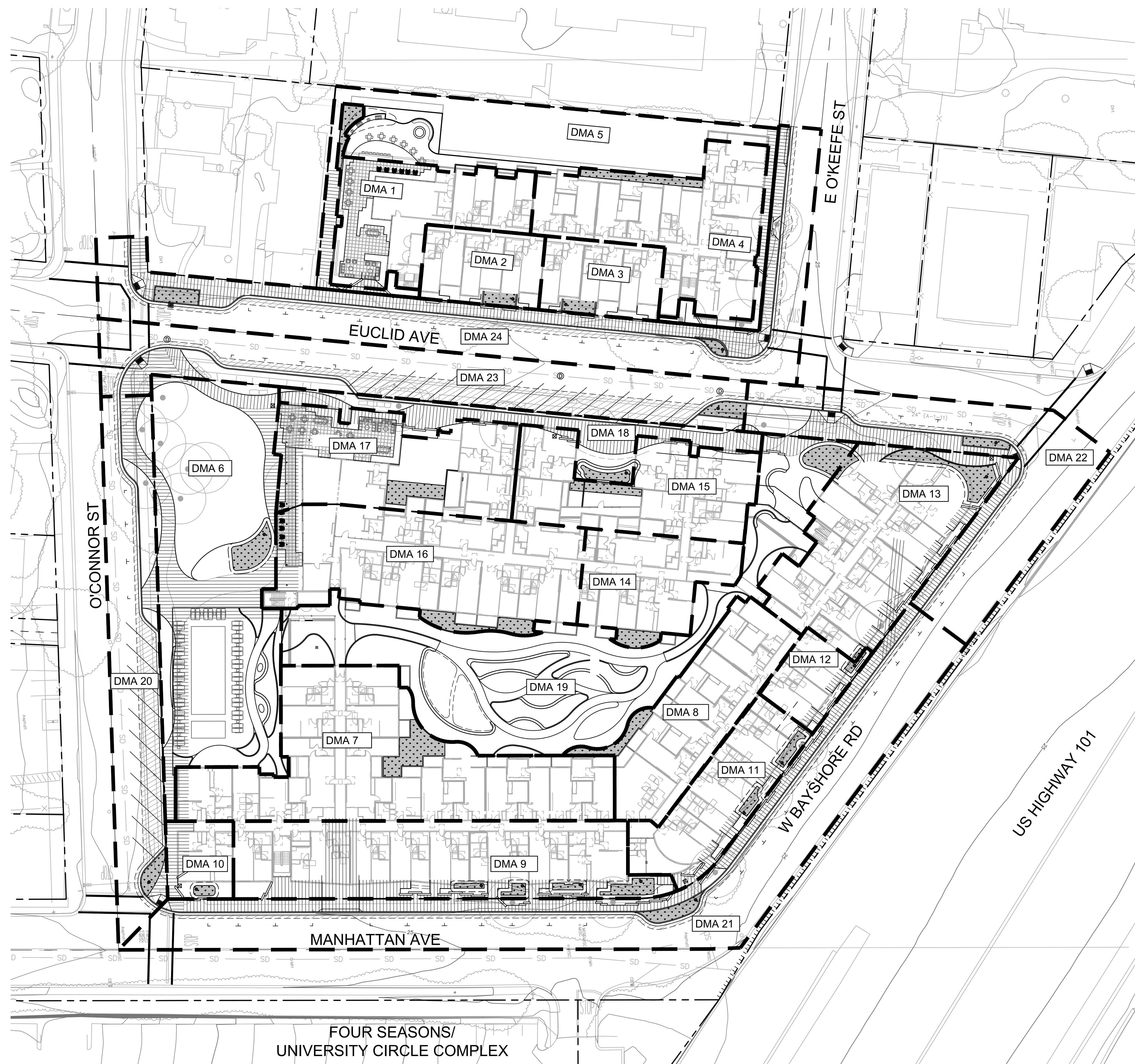
Drawing Title
**PRELIMINARY
 STORMWATER
 MANAGEMENT PLAN**

Sheet No.

C5.0

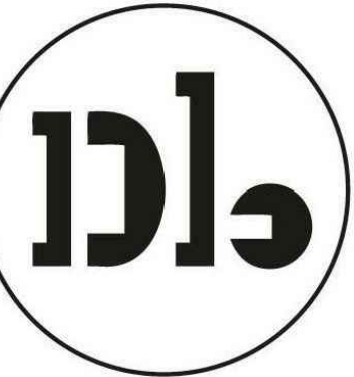
Date: 06/04/2024
 Project No.: 20166089-20

- LEGEND**
- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
 - INTEGRATED MANAGEMENT PRACTICE (IMP)
 - - - SD PERFORATED PIPE
 - SD CATCH BASIN
 - SD JUNCTION BOX
 - SD OVERFLOW DRAIN

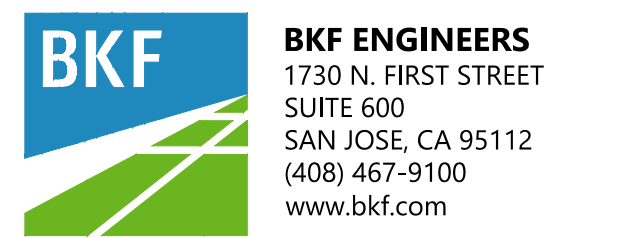


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 PLOT DATE: 06-04-24 PLOTTED BY: hers

FOUR SEASONS/
 UNIVERSITY CIRCLE COMPLEX



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Description	Date
Design Update	02/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024
2	Response to Comments	6/4/2024

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**Design Update -
April 2024**

Drawing Title

**PRELIMINARY
STORMWATER
MANAGEMENT PLAN**

Sheet No.

C5.1

Date: 06/04/2024
Project No.: 20166089-20

TREATMENT CONTROL MEASURE SUMMARY						
DRAINAGE AREAS	DRAINAGE AREA SIZE (SF)	PROPOSED CONDITION		TREATMENT MEASURE SIZE		TREATMENT MEASURE TYPE
		PERVIOUS SURFACE (SF)	IMPERVIOUS SURFACE (SF)	REQUIRED (SF)	PROVIDED (SF)	
DMA-1	6,270	LANDSCAPE 241	ROOF/SIDEWALK 6,029	241	241	STRUCTURAL BIORETENTION AREA
DMA-2	3,107	LANDSCAPE 93	ROOF/SIDEWALK 3,014	121	136	STRUCTURAL BIORETENTION AREA
DMA-3	3,107	LANDSCAPE 102	ROOF/SIDEWALK 3,005	120	137	STRUCTURAL BIORETENTION AREA
DMA-4	8,485	LANDSCAPE 325	ROOF/SIDEWALK 8,120	325	365	STRUCTURAL BIORETENTION AREA
DMA-5	10,627	LANDSCAPE 427	ROOF/SIDEWALK 10,200	N/A	N/A	PERMEABLE PAVERS
DMA-6	16,590	LANDSCAPE 7,420	ROOF/SIDEWALK 9,170	367	368	NON-STRUCTURAL BIORETENTION AREA
DMA-7	13,915	LANDSCAPE 868	ROOF/SIDEWALK 13,047	522	566	STRUCTURAL BIORETENTION AREA
DMA-8	6,584	LANDSCAPE 341	ROOF/SIDEWALK 6,243	250	341	STRUCTURAL BIORETENTION AREA
DMA-9	11,073	LANDSCAPE 973	ROOF/SIDEWALK 10,100	404	405	NON-STRUCTURAL BIORETENTION AREA
DMA-10	1,819	LANDSCAPE 230	ROOF/SIDEWALK 1,589	64	73	NON-STRUCTURAL BIORETENTION AREA
DMA-11	5,089	LANDSCAPE 429	ROOF/SIDEWALK 4,660	187	206	NON-STRUCTURAL BIORETENTION AREA
DMA-12	1,978	LANDSCAPE 193	ROOF/SIDEWALK 1,785	71	71	NON-STRUCTURAL BIORETENTION AREA
DMA-13	10,219	LANDSCAPE 550	ROOF/SIDEWALK 9,669	387	512	NON-STRUCTURAL BIORETENTION AREA
DMA-14	4,754	LANDSCAPE 238	ROOF/SIDEWALK 4,516	181	238	STRUCTURAL BIORETENTION AREA
DMA-15	6,904	LANDSCAPE 270	ROOF/SIDEWALK 6,634	265	270	STRUCTURAL BIORETENTION AREA
DMA-16	11,111	LANDSCAPE 470	ROOF/SIDEWALK 10,641	426	470	STRUCTURAL BIORETENTION AREA
DMA-17	7,782	LANDSCAPE 600	ROOF/SIDEWALK 7,182	287	344	STRUCTURAL BIORETENTION AREA
DMA-18	4,040	LANDSCAPE 900	ROOF/SIDEWALK 3,140	125	153	NON-STRUCTURAL BIORETENTION AREA
DMA-19	17,244	LANDSCAPE 8,212	ROOF/SIDEWALK 9,032	361	395	NON-STRUCTURAL BIORETENTION AREA
TOTAL	150,698	22,882	127,816	4,684	5,291	

NOTES

- 1) TREATMENT AREAS WERE SIZED USING THE "4 PERCENT METHOD" FLOW-BASED SIZING CRITERIA IN THE 2014 SAN MATEO COUNTY C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK, UNLESS THE REQUIRED SF IS FOLLOWED BY AN ASTERISK "**". IF REQUIRED SF HAS AN ASTERISK, TREATMENT IS SIZED USING THE COMBINED FLOW METHOD AND AT A MIN. PROVIDES AN EQUIVALENT OF 6-INCHES OF STORED RUNOFF IN SURFACE PONDING AREA.
- 2) DUE TO SITE CONSTRAINTS AND EXISTING GRADING PATTERNS ON E O'KEEFE STREET, ALL RUNOFF FROM NEW/REPLACED IMPERVIOUS AREA IN DMA 24 CANNOT BE CONVEYED TO PROPOSED TREATMENT AREAS. TO SATISFY MINIMUM TREATMENT REQUIREMENTS, TWO BIORETENTION AREAS ARE BEING PROPOSED THAT WILL TREAT A LARGE MAJORITY OF THE NEW/REPLACED IMPERVIOUS AREA PLUS EXISTING IMPERVIOUS AREA TO REMAIN.

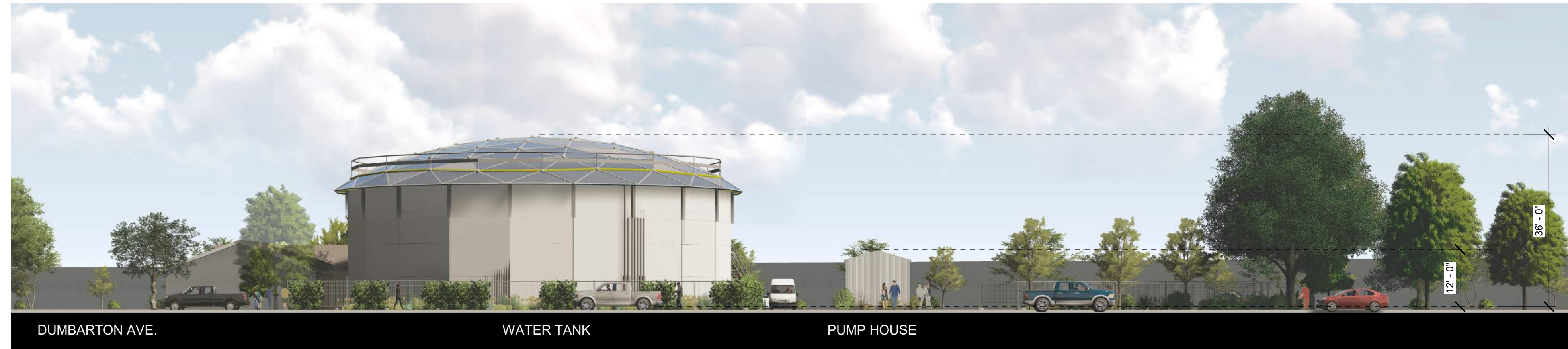
TREATMENT CONTROL MEASURE SUMMARY (OFF-SITE)					
DRAINAGE AREAS	DRAINAGE AREA SIZE (SF)	PROPOSED CONDITION	TREATMENT MEASURE SIZE		TREATMENT MEASURE TYPE
		NEW/REPLACED IMPERVIOUS SURFACE (SF)	REQUIRED (SF)	PROVIDED (SF)	
DMA-20	9,378	ROAD/SIDEWALK 3,137	126	190	STRUCTURAL BIORETENTION AREA
DMA-21	19,417	ROAD/SIDEWALK 5,730	230	244	STRUCTURAL BIORETENTION AREA
DMA-22	11,060	ROAD/SIDEWALK 3,277	131	133	STRUCTURAL BIORETENTION AREA
DMA-23	11,944	ROAD/SIDEWALK 4,234	169	196	STRUCTURAL BIORETENTION AREA
DMA-24	16,122	ROAD/SIDEWALK 7,008	280	293 (SEE NOTE 2)	STRUCTURAL BIORETENTION AREA
TOTAL	67,921	23,386	936	1,056	

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Woodland Park Euclid Improvements



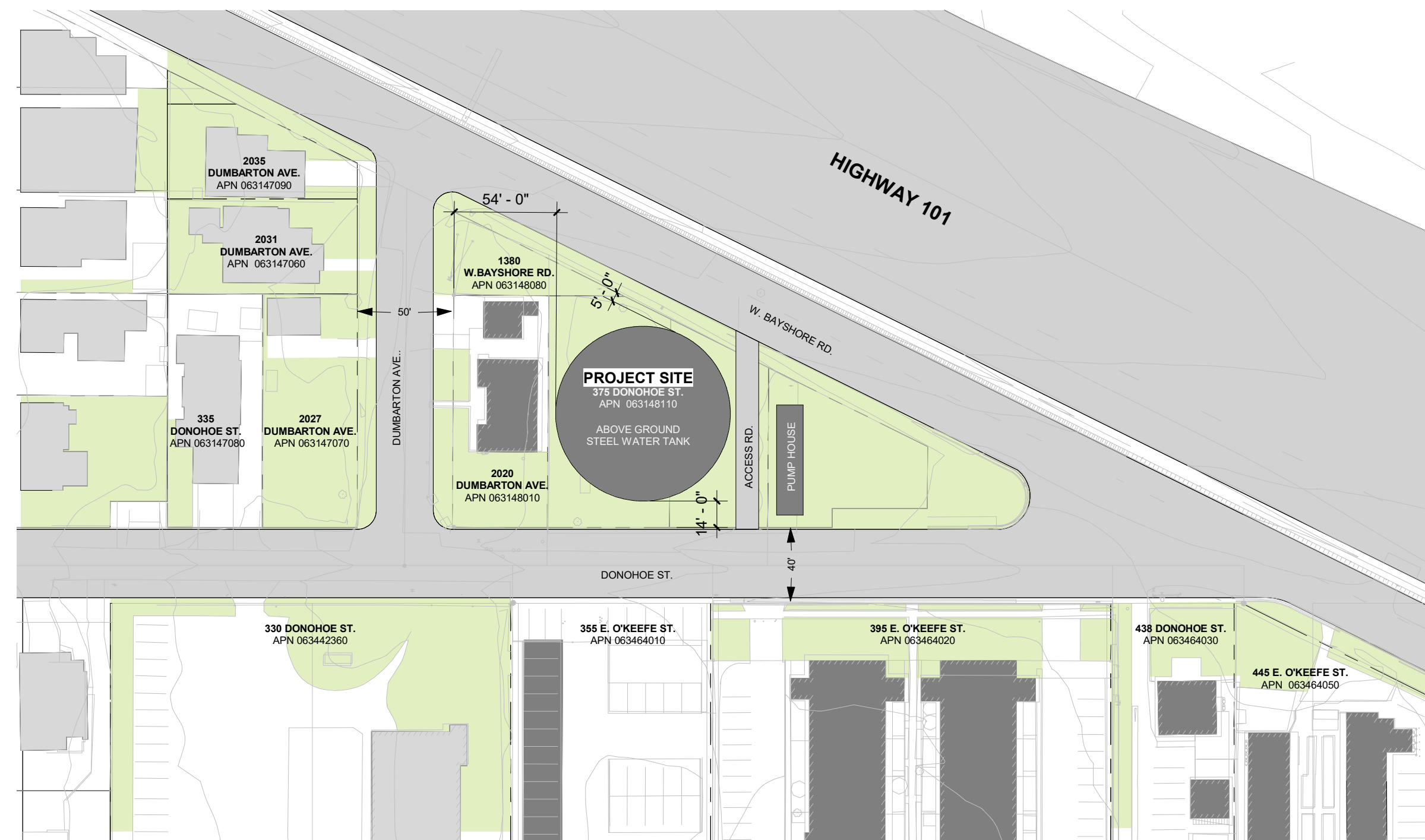
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② DONOHOE ST. ELEVATION
1/16" = 1'-0"



③ W. BAYSHORE ELEVATION
1/16" = 1'-0"



① Site Parcel Map
1" = 60'-0"



3D View - Donohoe St.

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Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions	
Rev.	Date

Set Title
**Application -
September 2019**

Drawing Title
**WATER TANK
EXHIBIT**

Sheet No.
WT-001

Date: 08/19/2022
Project No.: 21620